

Tuxford

Design Codes and Guidance

October 2023

Quality information

Prepared by	Checked by	Approved by
Joe Greenhalgh	Tom Royles	Lee Saxelby
Graduate Urban Designer	Senior Urban Designer	Regional Design Director
Tom Royles		
Senior Urban Designer		

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Introduction

01

1. Introduction

The aim of this document is to empower the local community to influence the design and character of the local area and to deliver suitable, sustainable development that meets the needs of local people.

1.1 Background

Through the Department of Leveling Up, Housing and Communities (DLUHC) Neighbourhood Planning Programme led by Locality, AECOM has been appointed to provide design support to the Tuxford Neighbourhood Group (NG) by preparing this Design Code document.

The NG seeks to establish a design guide including design codes to influence the character and design of new development across the entire Neighbourhood Plan Area (NPA), the extent of which is illustrated in figure 07 (overleaf). Site-specific codes for the HS14 Ollerton Road are provided in chapter 4.

The purpose of this design guidance and codes document is to preserve the character of the village and its surroundings, particularly the Conservation Area. To do this, the codes contained within this report will cover design issues such as heritage, the appearance of new and alterations to existing buildings, materials to be used, scale of new buildings in proportion to neighbours, and Sustainable Urban Drainage Systems (SuDS) among others.

This will help to ensure that as any new development comes forward, it responds to its context and supports and enhances the quality of the existing local character.



Figure 01: View of St Nicholas' Church



Figure 02: Snicketts and Porte Cochere paths are common throughout the NPA



Figure 03: Collection of derelict buildings adjacent to the town centre (behind the listed Newcastle Arms)

1.2 Document purpose

The NG has expressed that this document should ensure that the Conservation Area Assessment, which includes character descriptions of the buildings and public realm, is codified into clear building design codes.

The draft Local Plan states that Tuxford has a housing requirement of 252 homes (20% growth requirement). The draft plan states that there will be no new allocations except for the site proposed at Ollerton Road for a minimum of 75 dwellings which will contribute to the housing requirement of Tuxford. A recent monitoring report shows there is a residual requirement of 157 homes, made up of the Ollerton Road allocation and a further 82 homes to be delivered which will not be allocated in the Local Plan.

Therefore the NG would like to ensure that development that comes forward, even if it has not been allocated, is in keeping with the NPA. The design codes and guidance should be flexible so that they can apply to both large sites and smaller infill development sites.

1.3 Study area

Tuxford is a small, former market town, with a population of 2,649 (Census, 2011). The NPA extends to 1,151 hectares (ha) and is predominantly a rural area, resulting in a population density of 2.3 persons per hectare.

The town provides a range of services and facilities for the wider area, southeast of the district of Bassetlaw. This includes a doctors' surgery and secondary school. It also supports two well-established industrial estates, providing job opportunities outside the larger towns of Worksop, Retford, Harworth and Newark.

Tuxford is well placed, and has the right mix of services, facilities, and employment provision, to expand its role as a key Local Service Centre and become a sustainable town providing local employment opportunities and services and facilities to a wider rural area. To this end, greenfield extensions to the town will be required to deliver the levels of housing proposed and, potentially, to allow for the natural growth of the existing industrial estates.



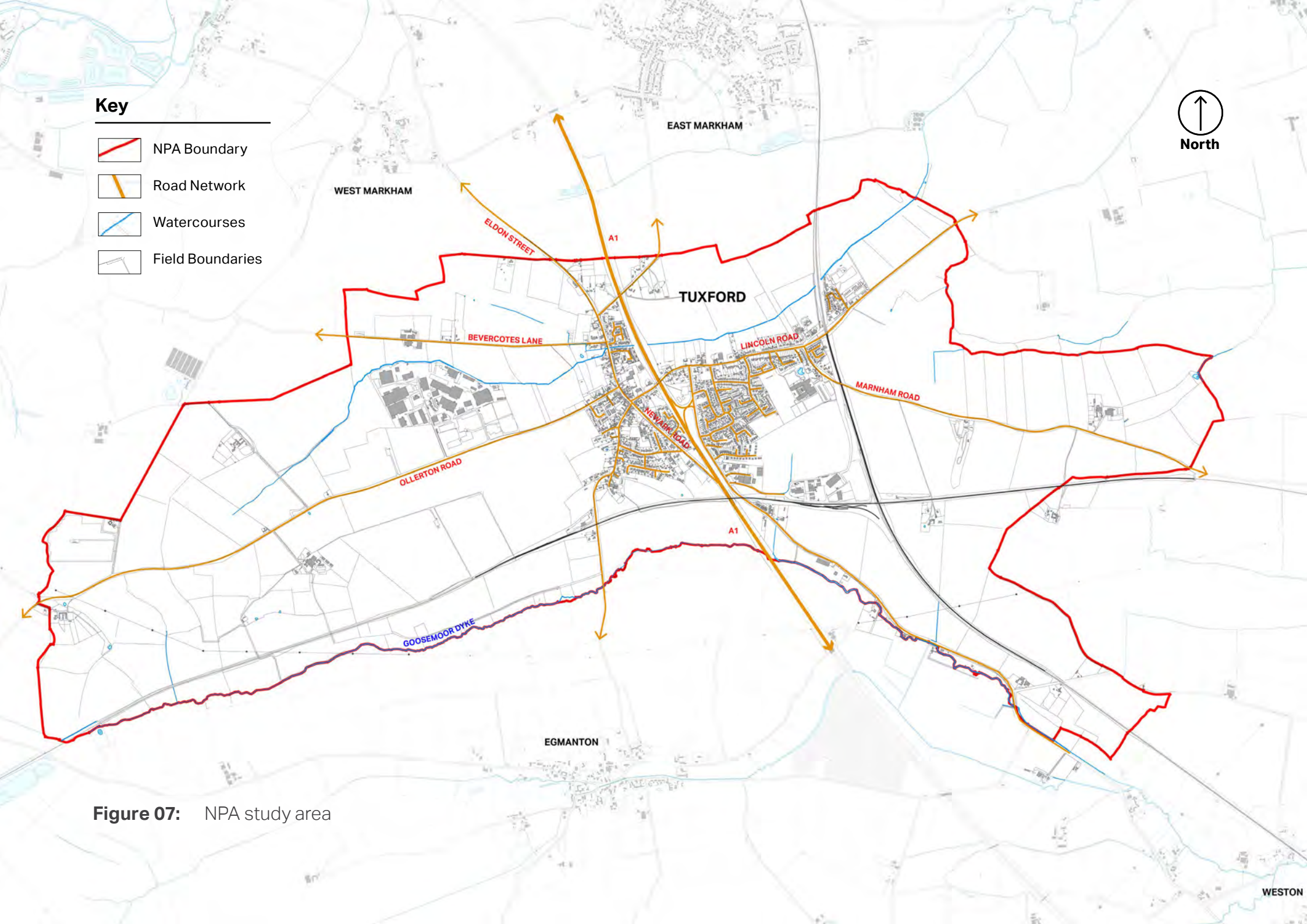
Figure 04: Vegetation screening new development on Clinton Gardens



Figure 05: New residential development adjacent to Clinton Gardens



Figure 06: The listed Newcastle Arms (Museum)







- Key**
-  NPA Boundary
 -  Road Network
 -  Watercourses
 -  Field Boundaries



Figure 07: NPA study area

1.4 Who will use the guide and codes?

This document should be a valuable tool in securing context driven, high-quality development in Tuxford. It will be used in different ways by different people in the planning and development process, as summarised in Table 01.

A valuable way it can be used is as part of a process of co-design and involvement that further understands and takes account of local preferences and expectations of design quality.

In this way, this document can help to facilitate conversations on the various topics that should help to align expectations and help understand the balancing of key issues. This document alone will not automatically secure optimum design outcomes but should help to prevent poor quality development.

Potential users	How they will use the design guidelines
Applicants, developers, and landowners	As a guide to assist applicants, developers and landowners when developing planning proposals in Tuxford, ensuring engagement with the community and the Local Planning Authority and ensuring new development is contextually responsive.
Local Planning Authority	As a reference point, embedded in policy, against which to assess planning applications. This document should be discussed with applicants during any pre-application discussions.
Town Council or Neighbourhood Plan steering group	As a guide when commenting on planning applications, ensuring that the design codes are complied with.
Community groups and local residents	As a tool to promote community-backed development and to inform comments on planning applications.
Statutory consultees	As a reference point when commenting on planning applications.

Table 01: Potential users.

1.5 Vision

The following vision and objectives have been extracted from the made Tuxford Neighbourhood Plan (2016).

In 20 years' time Tuxford will be a vibrant cohesive community. There will be things to do and places to go for young and old alike. It will value its proximity to the open countryside and people will be able to walk and cycle safely to school, the shops and for their leisure and recreation in, around and out of the town.

New development will have been sensitively designed to integrate well with the older parts of the town and the benefits from this growth of the town can be seen in a revitalised shopping area and improved community facilities.

1.6 Objectives

- The character and heritage of Tuxford is at least maintained and where possible enhanced as the town grows.
- Future housing growth should meet the needs of the local community whilst minimising the impact on the natural and built environment.
- New housing development should integrate with the existing settlement pattern.
- All new development should relate positively in form and function, in particular with respect to materials, style and connections where it will adjoin the existing settlement.
- Development should create an environment that makes it attractive for micro, small and medium sized businesses and shops to locate and flourish in the town and should particularly encourage proposals that create a more vibrant evening economy.
- To ensure easy access to the countryside for local people of all ages by creating green connections, protecting and enhancing local green spaces whilst supporting nature conservation.
- To encourage consultation with the community early in the planning application process so local people can inform the design, location or layout of a scheme before a planning application is submitted.
- To ensure that planning gain arising from new development is focused on initiatives that will benefit the town.

1.7 Methodology

The following steps have underpinned the understanding of place and engagement with the NG:

- Step 1: On the 13th February 2023, an inception call was held between AECOM representatives and the NG to understand the aims of the group and confirm the brief.
- Step 2: On the 07th March 2023, AECOM representatives met with the NG to conduct a site visit in order to appreciate the local character and photograph the area.
- Step 3: Following the initial engagement, AECOM progressed with a comprehensive planning policy review and townscape and landscape study.
- Step 4: Draft Codes were produced and tested following a detailed place analysis.
- Step 3: On 26 July 2023, AECOM shared a draft Design Code document with the NG for review.
- Step 4: After capturing the feedback from the NG, AECOM issued the final Design Code document in September 2023.



Figure 08: Image demonstrating the relationship between the built and natural environments



Figure 10: HS14 Ollerton Road allocated site to deliver 75 new homes



Figure 12: Rear courtyards accessed via a porte cochere are common across the NPA



Figure 14: Flemish bond, brick banding and keystones are common on older buildings



Figure 15: Images of the varying character of the NPA

A photograph of a residential street with red brick houses and a large green circle overlay. The circle contains the text 'Policy Context' and '02'. The background shows a clear blue sky with white clouds, a wooden fence in the foreground, and a green water tank. The houses have red tiled roofs and white window frames. A satellite dish is visible on the roof of the house on the left.

Policy Context

02



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2. Policy context

This section outlines the national and local planning policy and guidance documents that have influenced this design guide and codes document.

The Development Plan for Tuxford comprises:

- The National Planning Policy Framework
- The National Design Guide
- The National Model Design Code
- Building for a Healthy Life
- Bassetlaw Core Strategy and Development Management Policies DPD
- Tuxford Neighbourhood Plan
- Supplementary Planning Documents

The following chapter will identify the relevant planning policies from the documents set out above. In all instances, planning applications should make reference to these policies including the codes within this document .

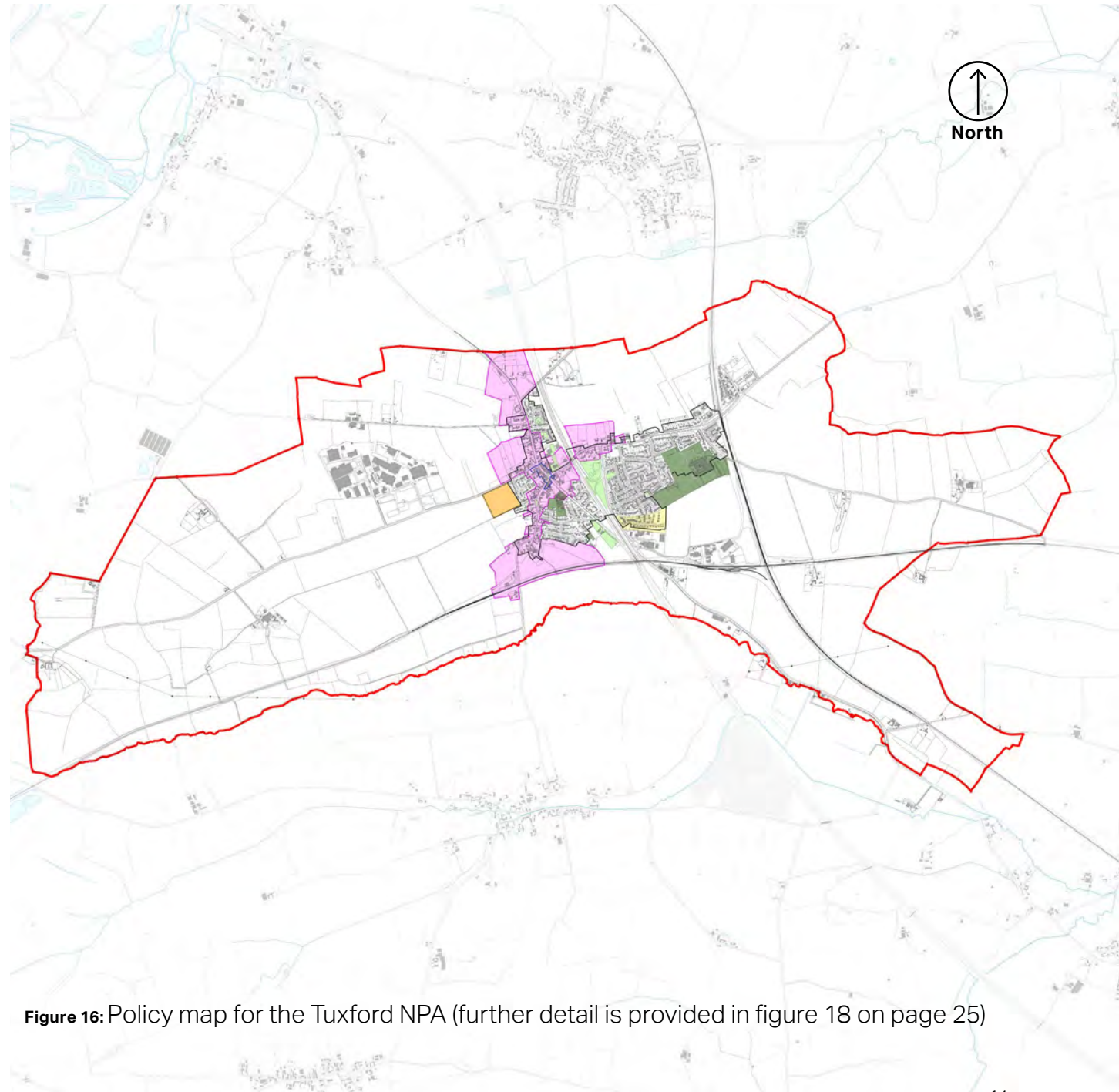


Figure 16: Policy map for the Tuxford NPA (further detail is provided in figure 18 on page 25)



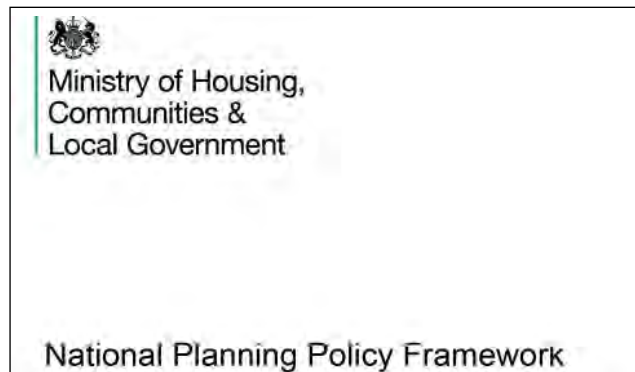
Figure 17: Images of Tuxford

2.1 Planning policy and guidance

This section outlines the national and local planning policy and guidance documents that have influenced the design codes set out in chapter 03.

2.1.1 National planning policy and guidance

This section provides an overview of the relevant policies within the National Planning Policy Framework (NPPF) and highlights recent government initiatives such as the National Design Guide (NDG), National Model Design Code (NMDC), and Homes England's adoption of Building for a Healthy Life (formerly Building for Life 12).



National Planning Policy Framework (revised September 2023)

The National Planning Policy Framework (NPPF) outlines the UK Government's overarching economic, environmental and social planning policies for England. It is a high-level document that attempts to make good design pivotal and to put communities at the heart of planning.

The policies within the NPPF apply to the preparation of local and neighbourhood plan areas, and act as a framework against which decisions are made on planning applications. The NPPF states that a key objective of the planning system is to contribute to the achievement of sustainable development. The relevant parts to this document are:

- **Part 1:** Achieving Sustainable Development
- **Part 5.** Delivering a sufficient supply of homes
- **Part 7:** Ensuring the vitality of village centres
- **Part 8:** Promoting Healthy and Safe Communities
- **Part 11:** Conserving and Enhancing the Natural Environment

- **Part 12:** Achieving Well-Designed Places
- **Part 14:** Meeting the challenge of climate change, flooding and coastal change
- **Part 16:** Conserving and Enhancing the Historic Environment

The NPPF notes that development that is not well designed should be refused, especially where it fails to reflect local design policies and government guidance on design, considering local design guidance and supplementary planning documents such as Design Codes.

The NPPF makes clear that all local planning authorities should prepare design guides or codes consistent with the principles set out in the National Design Guide (NDG) and National Model Design Code (NMDC), and which reflect local character and design preferences.

The lineage between policy and outcomes begins with the NPPF. Design has a central role to play in resolving the complexity of change. Good design is both a process and an outcome. Good design creates useable, user-friendly, enjoyable, and attractive places and spaces.

National Design Guide (2021)

The National Design Guide (NDG) sets the 10 characteristics of a well-designed place and demonstrates what good design is in practice. The 10 characteristics are:

- **Context** – enhances the surroundings.
- **Identity** – attractive and distinctive.
- **Built form** – a coherent pattern of development.
- **Movement** – accessible and easy to move around.
- **Nature** – enhanced and optimised.
- **Public spaces** – safe, social and inclusive.
- **Uses** – mixed and integrated.
- **Homes and buildings** – functional, healthy, and sustainable.
- **Resources** – efficient and resilient.
- **Lifespan** – made to last.

This document should be used as an overarching reference for new development where topics are not covered in local guidance. The NDG characteristics were used in the initial analysis to understand local demands and challenges.

The NDG notes that a well-designed place is unlikely to be achieved by focusing only on the appearance, materials and detailing of buildings.

National Model Design Code (2021)

The National Model Design Code (NMDC) sets a baseline standard of quality and practice.

The NMDC provides detailed guidance on the production of design codes, guides, and policies to promote successful design. It expands on 10 characteristics of good design set out in the NDG.

Building for a Healthy Life (2020)

Building for a Healthy Life (BHL) is the new name for Building for Life, the government-endorsed industry standard for well-designed homes and neighbourhoods. The new name reflects the key role that the built environment has in promoting wellbeing.

The BHL toolkit sets out principles to help guide discussions on planning applications and to help local planning authorities to assess the quality of proposed schemes, as well as useful prompts and questions for planning applicants to consider during the different stages of the design process.



2.1.2 Local Policy Context

A Local Plan forms part of the statutory Development Plan for the borough and informs decisions on planning applications. The following documents are essential references to local policy and guidance that have informed the design guidelines and codes:

- Tuxford Neighbourhood Plan (adopted 2016)
- Bassetlaw Core Strategy and Development Management Policies DPD (adopted 2011)
- The emerging Bassetlaw Local Plan (draft August 2021)
- The emerging Tuxford Neighbourhood Plan (upon adoption)

Furthermore, there are several planning policy background documents, studies and evidence relating to the following policy themes:

- Affordable housing SPD
- Residential Parking Standards SPD
- Shopfront and Signage SPD
- Residential Design SPD (Successful Places)
- Bassetlaw Vision 2040

Tuxford Neighbourhood Plan (made 2016)

The Tuxford Neighbourhood Plan is the NPA's statutory Development Plan used in determining planning applications. The following policies are relevant to this document:

- Policy 1 Sustainable Development

This policy ensures that new development leads to economic, social and environmental benefits. Furthermore, the policy supports improved access to the countryside and to open spaces.

- Policy 3 Design Principles for New Development

Policy 3 states a series of criteria for new development, ensuring good design and sustainable patterns of movement are encouraged. New development should respect local character with major proposals demonstrating their consideration on matters pertaining to landscape, integrating parking, responding to existing built form, delineating clearly between public and private space and framing and protecting key views.

- Policy 4 Protecting and Enhancing the Conservation Area

Proposals to maintain, conserve and improve, where and when appropriate, Tuxford's heritage assets, including historic buildings and sites outside the Conservation Area, will be supported.

- Policy 5 Housing Type

This policy ensures that new development provides a housing mix that reflects local needs.

- Policy 6 Infill Development

This policy encourages infill development where the proposals are of high design quality and is in-keeping with the character of the area.

- Policy 8 Improving Access to the Countryside

Policy 8 seeks to improve existing Public Rights of Way and encourage the provision of new rights of way that respect local character and increase access to the countryside.

- Calculating Residential Parking Standards (table 1)

Table 1 in the Neighbourhood Plan presents minimum parking standards for new development across Tuxford. Table 1 provides the appropriate standards for flats/ apartments and houses:

1 bedroom properties should provide 1 space per dwelling with 0.3 spaces per dwelling of unallocated parking spaces (to be rounded up to the nearest whole number).

2 or more bedroom properties should provide 2 space per dwelling with 0.3 spaces per dwelling of unallocated parking spaces (to be rounded up to the nearest whole number).

These policies will underpin the design guidance and codes set out within this document.

It is important to note that the NG is currently in the process of updating the Tuxford Neighbourhood Plan. Upon adoption, the codes within this document should be read alongside the policies within the updated Neighbourhood Plan.

Local Planning Policy & Guidance	Relevant Policies
Tuxford Neighbourhood Plan (2013 - 2028)	Policy 1 Sustainable Development Policy 2 Pre-application Community Consultation Policy 3 Design Principles for New Development Policy 4 Protecting and Enhancing the Conservation Area Policy 5 Housing Type Policy 6 Infill Development Policy 7 Strengthening the Retail Centre Policy 8 Improving Access to the Countryside Policy 9 Community Facilities Policy 10 Town Centre Parking

Table 02: Relevant policies in the Neighbourhood Plan

Bassetlaw Core Strategy and Development Management Policies DPD (adopted 2011)

Policy CS1 Settlement Hierarchy

This policy identified Tuxford as a Local Service Centre Settlement, with regeneration opportunities and the provision of services and facilities available to support moderate levels of growth (Policies CS5; CS6).

Policy CS6 Tuxford

Development in Tuxford will strengthen the settlement's role as a Local Service Centre for the rural communities of southeast Bassetlaw. Particular attention will be paid to proposals that enhance the employment, leisure, and retail offer in the village centre, bring empty buildings in the centre back into use and improve the centre's public realm, while respecting and enhancing its historic assets.

New development will be of a high quality of design, making strong connections with the existing settlement and surrounding communities, as well as providing the facilities necessary to support a new community including open space and play facilities, community facilities and transport improvements.

Up to 4% (301 houses) of the district's housing requirement will be delivered at Tuxford through existing permissions and allocations in the Site Allocations DPD for the plan period 2010-2028.

Policy DM2 Conversion of agricultural buildings

This policy seeks to ensure that the conversion of rural buildings make a positive contribution to the streetscene, its wider landscape setting and respects the buildings historic value. Proposals will be required to demonstrate the retention of historic or positive architectural features, the use of appropriate design and detailing of new elements, the use of appropriate materials (to the building and location) and positive landscape approached including the retention of original walls and hedgerows.

Policy DM3 General development in the countryside

Policy DM3 applies to any development outside a Development Boundary. The policy provides guidance for replacement buildings, the reuse of previously developed land in rural areas and agricultural/forestry buildings and domestic equine facilities.

Policy DM4 Design and character

Policy DM4 provides guidance for all new major and minor development in Bassetlaw. Section (a) sets out several criteria to ensure that all new major development complements and enhances the character of the built, natural, and historic environment. Whereas, section (b) provides general design principles for individual development proposals, including single buildings, changes of use or extensions to existing buildings, on matters pertaining to local character and distinctiveness, architectural quality, public realm, accessibility, and carbon reduction.

Policy DM5 Housing mix and density

Proposals for new housing development will be expected to deliver housing of a size, type, and tenure appropriate to the site and locality. Section (b) of policy DM5 elaborates on the requirements for new development of both high and low density.

Other Supplementary Planning Documents (SPDs)

Bassetlaw District Council has produced several other SPDs which offer additional guidance of a more specialised nature which covers a range of issues, both thematic and site-specific in scope. Bassetlaw's portfolio of SPDs positively address several local planning matters, complementing several policies in its Core Strategy. Relevant SPDs include:

- Affordable housing SPD
- Residential Parking Standards SPD
- Shopfront and Signage SPD
- Residential Design SPD (Successful Places)

Successful Places SPD

This SPD was prepared jointly by Chesterfield Borough, Bolsover District, Northeast Derbyshire District and Bassetlaw District Councils. This residential Design SPD:

- Identifies the standards of design expected by the four local authorities.
- Provides direction on the principles of good design within residential developments; and
- Provides information and guidance on the design process.

This design code aims to add place specific detail and depth to the design principles of the SPD without retreading the same ground.



The Draft Bassetlaw Local Plan (2020 – 2038) August 2021

Bassetlaw District Council submitted the Bassetlaw Local Plan (2020-2038: Publication Version) to the Secretary of State on 18 July 2022 for independent examination, in line with the Town and Country Planning (Local Planning) (England) Regulations 2012 - Regulation 22.

Upon adoption of the Local Plan, the policies will replace the existing policies set out in the adopted Core Strategy .

The following 'emerging' policies were considered when developing the design codes within this document:

Policy ST2 Residential Growth in Rural Bassetlaw

Policy ST2, upon adoption, will replace policies CS1, CS6 and DM3 of the Core Strategy. The policy states that Tuxford will be expected to accommodate a 20% growth requirement comprising 250 new dwellings across the plan period (2020 - 2037). The delivery of new housing will be expected to be within the development boundary (as illustrated in figure 18) or identified within the Neighbourhood Plan.

Policy 28 Site HS14 Ollerton Road

Policy 28 states that the land at Ollerton Road will be expected to deliver 75 new dwellings and supporting infrastructure across the plan period. Proposals will be required to deliver:

- *Good quality design and local character*
- *Mix of house types*
- *Green/blue infrastructure and biodiversity*
- *Social and community facilities*
- *Transport and connectivity*

Policy ST35 Design Quality

Policy ST35, upon adoption, will replace Core Strategy policies CS6, DM2, and DM4. Policy ST35 sets out a series of criteria to ensure that all development achieves high quality design.

Policy 36 Shop fronts, Signage and Security

Policy 36, upon adoption, will replace Core Strategy policy DM8. This policy ensures that new development that impacts the existing condition of shop fronts, or proposes new shop fronts, respects the scale, proportions, character, age, materials, and decorative treatment of the façade of

the host building. In the case of a heritage asset, the proposal must reflect local character, and the design and materials that are appropriate to local context.

Policy ST37 Landscape Character

Policy ST37, upon adoption, will replace Core Strategy policies DM2, DM4, DM5 and DM9. This policy seeks to ensure that planning proposals contribute to the nature and quality of the local landscape.

Policy ST42 The Historic Environment

This policy, upon the adoption of the Core Strategy, will replace Core Strategy policies CS6, DM2, and DM8. This policy seeks to conserve and enhance the historic environment across Bassetlaw. The policy gives great weight to the conservation and reuse of heritage assets (both designated and non-designated) and their setting. Proposals must also make a positive contribution to the character and local distinctiveness of the historic environment, and maintain, conserve, sustain or return to beneficial use designated and non-designated assets.

Policy ST43 Designated and Non-Designated Heritage Assets

This policy, upon the adoption of the Core Strategy, will replace Core Strategy policies CS6, DM2, and DM8. Proposals for development, including change of use, that involve a designated heritage asset, or the setting of a designated heritage asset will be expected to conserve, enhance or better reveal the characteristics which contribute to the heritage significance and/or its setting, respect any features of special or historic interest and be sympathetic in terms of its siting, size, scale, height, alignment, proportion, design and form, material and detailing, boundary treatments

Proposals must also ensure significant views away from, though, towards and associated with the heritage asset(s) are conserved and enhanced.

Local Planning Policy & Guidance	Relevant Policies and Guidance Notes
Bassetlaw District Core Strategy	Policy CS8 Rural Service Centres Policy DM1 Economic development in the countryside Policy DM3 General development in the countryside Policy DM4 Design and character Policy DM5 Housing mix and density Policy DM8 The historic environment Policy DM9 Green infrastructure, biodiversity and geodiversity, landscape, open space, and sports facilities Policy DM12 Flood risk, sewerage, and drainage Policy DM13 Sustainable transport
Successful Places SPD (2011)	02 Delivering Quality – the Design Process 03 Place Making Principles - Good Urban Design Practice 04 Management and Maintenance – Enduring Quality
The emerging Bassetlaw Local Plan	Policy ST1: Bassetlaw’s Spatial Strategy Policy ST2 Residential Growth In Rural Bassetlaw Policy ST15: Provision Of Land For Housing Policy ST13: Town Centres, Local Centres, Local Shops and Services Policy 28: Site HS14: Ollerton Road, Tuxford Policy ST29: Affordable Housing Policy ST30: Housing Mix Policy ST35: Design Quality Policy 36: Shop Fronts, Signage and Security Policy ST37: Landscape Character Policy St39: Green And Blue infrastructure Policy St40: Biodiversity And Geodiversity Policy 41: Trees, Woodlands And Hedgerows Policy ST42: The Historic Environment Policy 43: Heritage Assets Policy 48: Protecting Amenity Policy ST52: Flood Risk And Drainage

Table 03: Relevant policies in the Local Plan

2.2 Policy designations

The following land use designations are of great importance when considering development constraints within the NPA.

2.2.1 Heritage

Tuxford's rich heritage is captured and retained within the extensive conservation area, which covers 52 hectares (ha) of the Tuxford urban area. There are 27 listed buildings with an additional 92 positive buildings (buildings that contribute to the setting, quality and character, yet are unlisted) and 10 non-designated heritage assets.

The Tuxford Conservation Area Appraisal and Management Plan (CAAMP) has identified several character areas within the Conservation Area. This assessment will form the basis of the character study set out in Chapter 03.

A full review of the historical character of Tuxford, including a comprehensive list of its assets, are available in chapter 03 of this report. New development within, or adjacent to, the Conservation Area and listed assets will be subject to codes and guidance set out within this document.

2.2.2 Town Centre Boundary

As illustrated in figure 18, Tuxford's town centre has been identified within a definitive boundary as set out in the Local Plan.

These policies seek to focus main town centre uses within the identified boundary, such as restaurants, pubs, hotels and cinemas and financial and professional services. The development of A3 and D2 uses outside the town centre uses will only be encouraged if the proposals respect local character and residential amenity.

2.2.3 Protected Open Space

As illustrated on figure 18 (page 15), there are several parks and greenspaces identified in the Neighbourhood Plan as Local Green Spaces, which under the provisions set out in the NPPF, are protected against development. These spaces include:

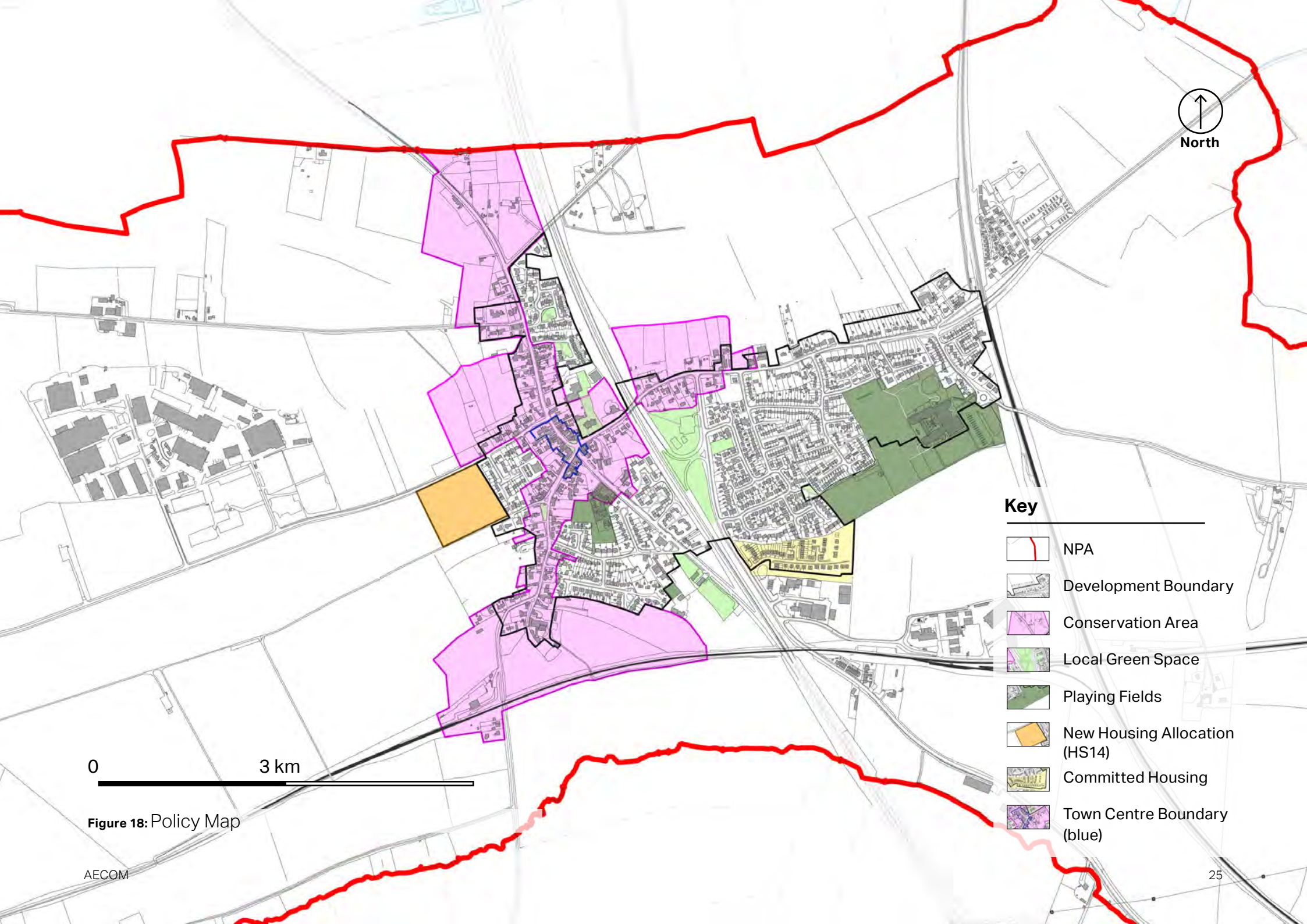
- Greenspace adjacent to Burleigh Crescent
- Eldon Green
- Tuxford playpark
- Playpark off Newark Road
- Long Lane greenspace

- Greenspace adjacent to Linden Avenue
- Town centre greenspaces
- St.Nicholas' Church greenspace
- Gilbert Avenue Playing Field.

2.2.4 Housing Allocation

HS14 Ollerton Road - required to deliver 75 new homes across 3ha of land. The following is a summary of the infrastructure and services, identified in Policy 28 of the Local Plan, to be provided through new development:

- 25% of homes will be for affordable housing, 25% of these will be First Homes for first time buyers
- 10% biodiversity net gain
- 5 new trees per home
- Safe access for vehicles, pedestrians and cyclists onto Ollerton Road, capable of accommodating public transport
- Pedestrian footway connecting the existing footway on Ollerton Road with The Pastures
- Pedestrian/cyclepath connection from the southern boundary to Long Lane
- Connections to the public rights of way network adjoining the site.



- Key**
-  NPA
 -  Development Boundary
 -  Conservation Area
 -  Local Green Space
 -  Playing Fields
 -  New Housing Allocation (HS14)
 -  Committed Housing
 -  Town Centre Boundary (blue)

0 3 km

Figure 18: Policy Map



**Place Analysis and Design
Codes**

03



3. Place Analysis and Design Codes

This chapter presents analysis of the NPA according to a series of themes. These help to understand the variation in character across the area and inform a series of design codes that will shape and influence future development across Tuxford.

3.1 Introduction

This chapter provides analysis on a number of key themes including heritage, built form, character, and landscape among others.

It is important for any planning proposal that full account is taken of the local context and that the proposed design embodies the 'sense of place', both in terms of local character and distinctive features such as listed buildings and conservation areas.

This study informs a series of design codes that must underpin all future development proposals in Tuxford.

First and foremost, the design and layout of new buildings and places must respond to the wider urban pattern and landscape context.

Future planning proposals must reference the design codes within this chapter

including the policies and guidance set out in chapter 02 to ensure compliance with the Development Plan. Upon adoption, proposals must also comply with the policies set out in the new Tuxford Neighbourhood Plan.

The themes and codes within this chapter comprise:

A. Heritage including design codes for development in the conservation area and responding to heritage features.

B. Urban Design and Character which includes design codes on appearance, scale, extensions and alterations and conversion of agricultural buildings and design codes for specific character areas.

D. Movement which includes design codes on focal points, parking, connectivity and movement.

E. Sustainability and landscape which includes design codes on landscape character, biodiversity, and water sensitive urban design.

3.2 Heritage

3.2.1 Tuxford Conservation Area

Conservation Areas are areas of special architectural or historic interest that have character or appearance which is desirable to preserve or enhance.

Any new development should be designed with consideration for how it will preserve the historic character of the Tuxford conservation area.

The conservation area was formally designated in 1980 (the boundary of which is illustrated in figure 20, overleaf) and covers up to 52 hectares of the NPA.

Bassetlaw District Council has published a Conservation Area Appraisal and Management Plan (CAAMP) which provides an overview of the history and development of the conservation area as well as identifying specific features which contribute towards their character, for example historic buildings and buildings which are locally significant, important green and open spaces, significant views, natural elements such as trees and features which help make the conservation area locally distinct. The information and guidance set out within the CAAMP underpins the codes within this document.

3.2.2 Conservation area sub areas

a. Market Place

This area is focused on the core of the historic market town at the crossroads between Newark Road, Newcastle Street, Lincoln Road and Eldon Street and northwards along the Great North Road, including Ollerton Road. The urban core is characterised by Georgian style buildings of two and three storeys in red brick, with clay pantile roofs or slate roofs and large painted square sliding sash windows. Many buildings have rendered or painted façades. Both Eldon Street and Ollerton Road contain a wider mix of vernacular buildings from the eighteenth to the twentieth century;

b. St. Nicholas Church

This area includes the Church of St Nicholas and churchyard. It is predominantly characterised by a number of large houses set in large plots, such as Tuxford Hall, The Chantry and The Old Vicarage, as well as important historic civic buildings that include Read's Grammar School, The Old School House and the Victorian school house. There are also several large mature trees;

c. Egmonton Road

This area is predominantly rural in character, covering Newcastle Street between Egmonton Road and College Farm in the south and the lock-up and Long Lane in the north. The street character along Newcastle Street is transitional from the Market Place Character Area. The coaching inn service elements start to become fragmented by a rural street pattern, where the principal historic character is defined by cottages and farmsteads. The lock-up is unusual and is a focal structure in the streetscape;

d. Lincoln Road

Despite being separated from the historic urban core of the market town by the A1, this area possesses a strong rural character with a number of historic cottages and farmsteads;

e. Mill Mount

Mill Mount is an important topographical feature and can be seen from a wide range of vantage points inside and outside of the Conservation Area. There is also an attractive grouping of buildings on the hill and positive hedges and trees throughout. The former malthouse on Bevercotes Lane and the windmill reflect Tuxford's industrial heritage.

3.2.3 Listed Buildings

Table 4 (right) sets out Tuxford's listed assets and buildings. Notwithstanding Tuxford's designated historical assets, the CAAMP identifies 10 non-designated heritage assets and an additional 92 buildings that contribute positively to the historical character of Tuxford.

3.2.4 Derelict buildings

The Tuxford conservation area has been classified as a 'conservation area at risk', with a high number of derelict, empty or dilapidated historic buildings.

They hint at a decline in Tuxford's built and historic environment as a result of many social and economic fluctuations including the waning importance of the Great North Road, the impact of the postal service, changes to industrial practices and sustained competition from resulting in transport expansion.

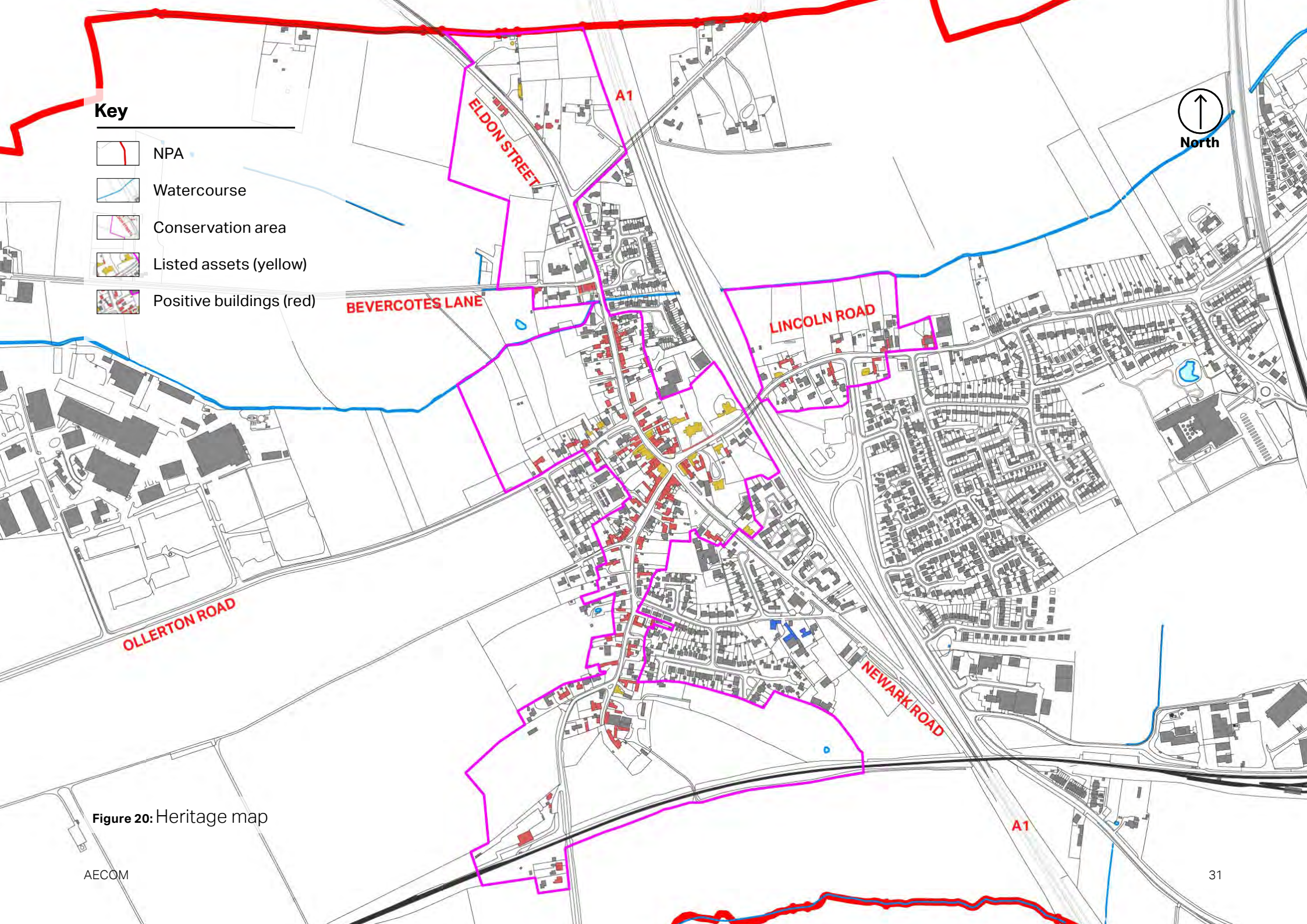
The NG is keen to include design codes that encourage the sustainable reuse and reinstatement of these buildings to enhance the built and historic environment of the conservation area.

HERITAGE ASSET		
Rebel Stone (Grade II)	7, Eldon Street (Grade II)	Jubilee Lamp Post (Grade II)
St John's College Farm, 91, Newcastle Street (Grade II)	5, Eldon Street (Grade II)	Georgian House (Grade II)
The Old Lock Up (Grade II)	The Mail House (Grade II)	8 And 10, Market Place (Grade II)
The Old School House (Grade II)	The Newcastle Arms (Grade II)	The Old Grammar School, Number 4, And Attached Wall, Gate And Steps (Grade II*)
42 Lincoln Road (Grade II)	14, 16 And 18, Eldon Street (Grade II)	The Old Vicarage (Grade II)
Pump Farmhouse (Grade II)	The Chantry (Grade II)	12, Ollerton Road (Grade II)
Windmill At Mill Mount (Grade II)	Church Of St Nicholas (Grade I)	4, 6 And 8, Ollerton Road (Grade II)
The Mount (Grade II)	Tuxford War Memorial (Grade II)	
Tuxford Hall (Grade II)	Wall, Gate Piers And Gates, Extending In Front Of The South Side Of Church Of St Nicholas (Grade II)	

Table 04: Tuxford listed assets



Figure 19: Derelict and empty buildings in Tuxford.



Key






-  NPA
-  Watercourse
-  Conservation area
-  Listed assets (yellow)
-  Positive buildings (red)



Figure 20: Heritage map

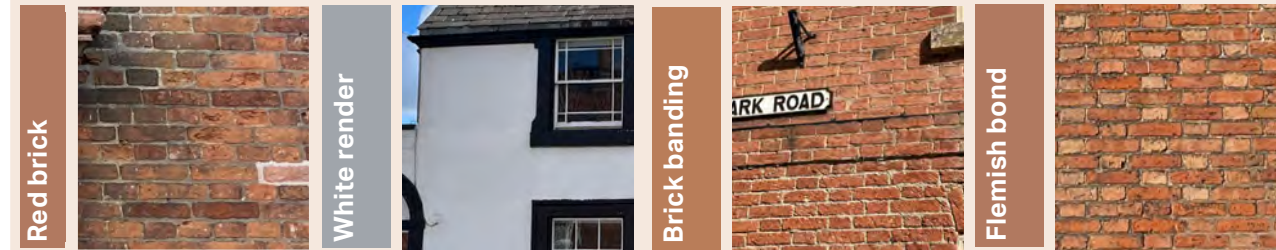
Colour palette

RED	BROWN	GREY / BLUE
RED / ORANGE	PALE / WHITE	GREY

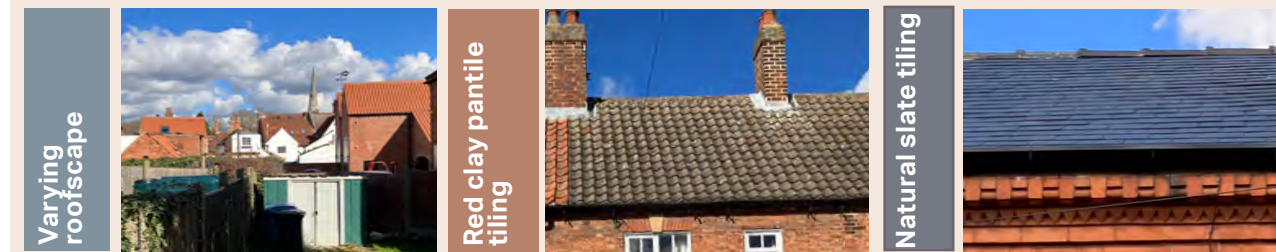


Figure 22: St. Nicholas' Church (Grade I)

Materials and details



Roofscape



Boundary treatments

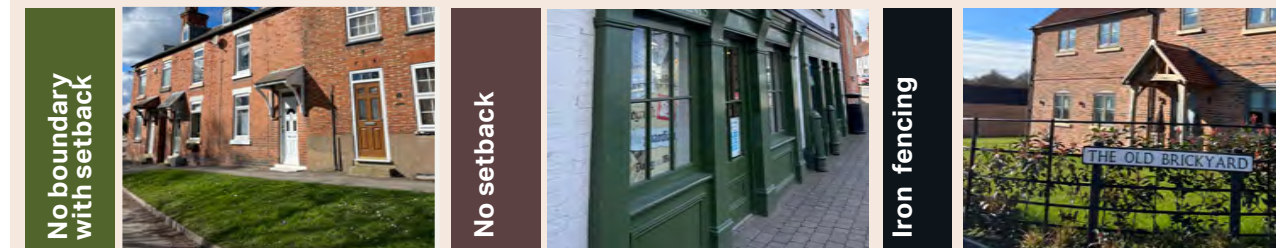


Figure 24: Positive Buildings in the conservation area



Figure 23: Listed property at 12 Ollerton Road



Figure 21: Listed Newcastle Arms, now a museum

3.2.5 Design Code A1: Tuxford Conservation Area

New development within or directly adjacent to the conservation area boundary, or impacting the setting of the conservation area must demonstrate:

1. A compliance with the characteristics, materiality and detailing set out in the sub-character area codes set out in Design Codes B2 - B6.
2. The retention and enhancement of historic buildings and their historic architectural features, including brick detailing, traditional timber windows/doors, and those referenced in Design Codes B2 - B6.
3. The retention of significant trees/hedges and where necessary (due to damage or loss) their replacement with appropriate species.
4. The rationalisation of street furniture, including signage and crash barriers.
5. Replacement of poor quality or inappropriate windows. The use of uPVC may be acceptable provided they follow the original configuration and gain the approval of a BDC Conservation Officer.
6. The reintroduction of appropriate historic or architectural features to the Conservation Area's historic buildings and public realm, such as those identified in Design Codes B2 - B6.

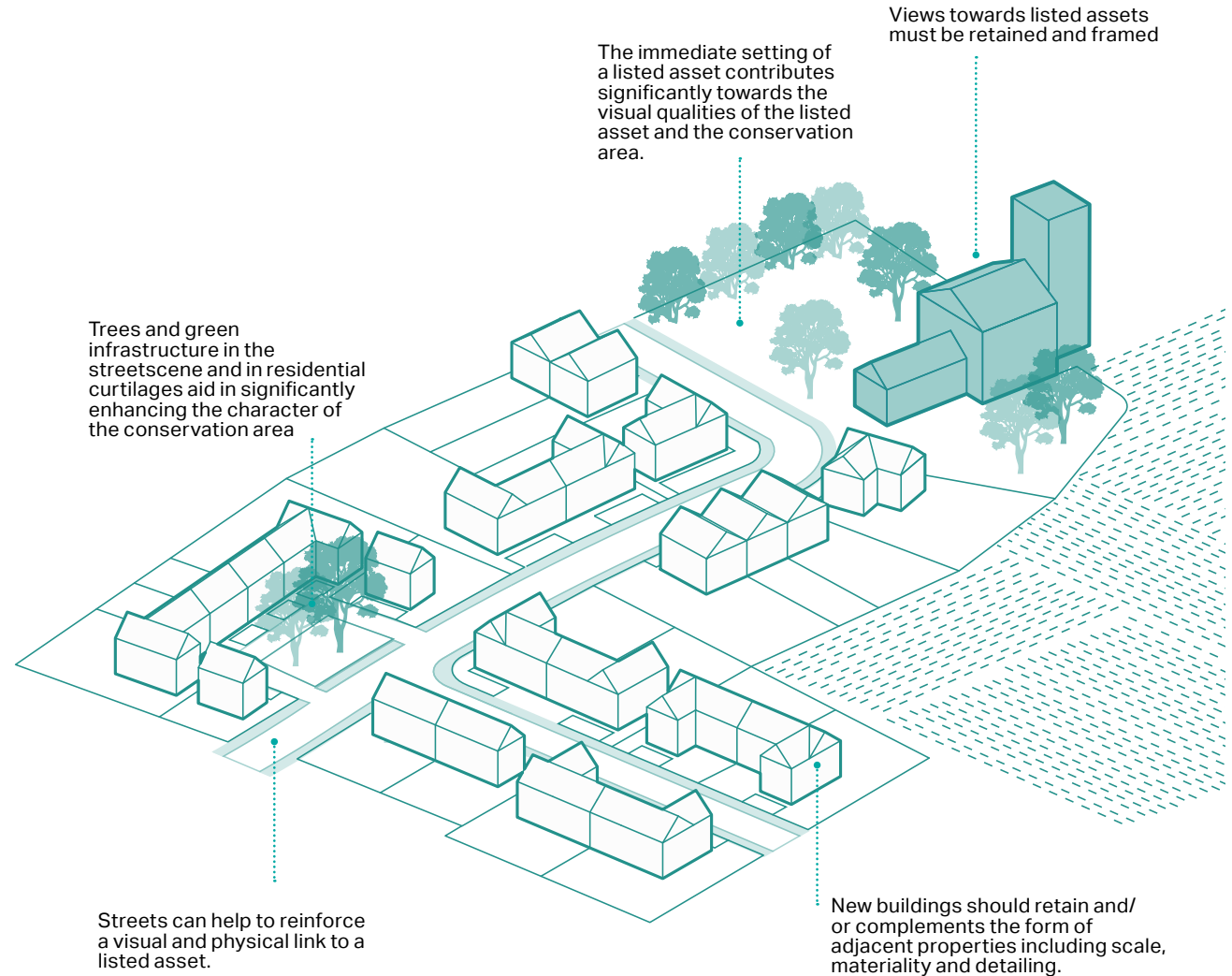


Figure 25: Views to local landmarks should be retained, acting as visual links to aid orientation and retain area characteristics

3.2.6 Design Code A2: Responding to heritage

Development proposals, both major and minor, within proximity to a listed asset, or positive buildings (as identified on figure 20) including alterations and extensions must:

- a. Respond to the heritage features, such as characteristics, materiality and detailing set out in the sub-character area codes set out in Design Codes B2 - B6.
- b. Respect the historic layout and pattern, responding to positive characteristics in terms of street pattern, density and layout, plot series and boundary treatments.
- c. Respond appropriately by respecting scale, massing, and height, especially where visible from public routes and spaces (particularly the main routes through the village).
- d. Retain and frame key views of listed assets and notable buildings.
- e. Be orientated and sited where it does not negatively impact the setting of a listed asset.
- f. Avoid dormers that significantly alter the roofline.
- g. Ensuring that windows and door design are proportioned and designed to reflect the style/age of the surrounding heritage buildings.



Figure 28: New buildings reflecting historic features such as openings and materials in the historic centre



Figure 26: Retention of form, scale and materials of historical buildings

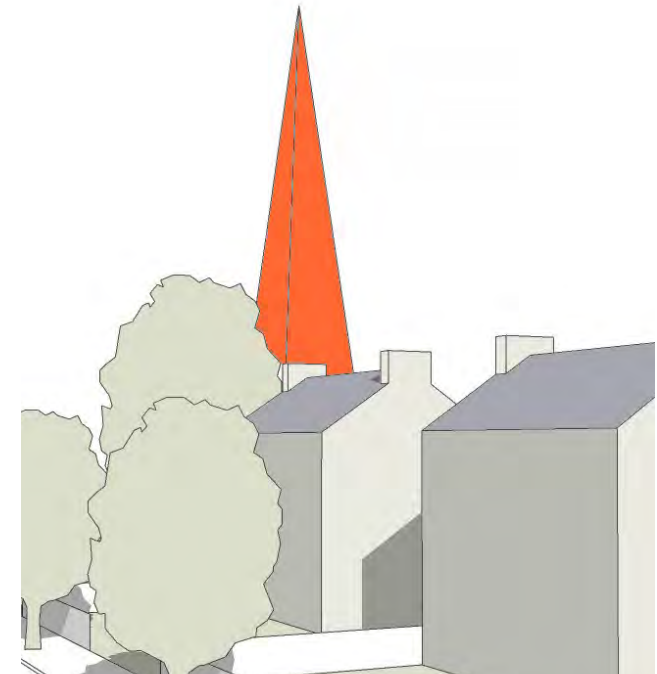


Figure 27: New developments should respect the existing shape and rhythm of skylines and designers should make sure that new buildings do not obstruct views to local landmarks such as Church Spires



Figure 29: Stepping down of scale to reinforce views towards notable features in the skyline

3.2.7 Design Code A3: Reinstating derelict buildings

Proposals for the reinstatement or the sustainable reuse of a derelict and / or empty building across Tuxford are encouraged and supported by the NG.

In these cases, all proposals must:

a. In the conservation area:

Retain the form and scale of the original building and comply with the characteristics, materiality and detailing set out in the sub-character area codes set out in Design Codes B2 - B6.

b. Outside the conservation area:

Comply with the characteristics, materiality and detailing set out in the character area codes set out in Design Codes B7 (A - G).

c. In all cases:

- i. Retain and enhance existing building features.
- ii. Respond appropriately by respecting scale, massing, and height, especially where visible from public routes and spaces (particularly the main routes through the village).
- iii. Avoid implementing disproportionate extensions and alterations to the existing building.



Figure 30: Derelict buildings in Tuxford's town centre.

3.3 Urban Design

3.3.1 Layout, built form and urban grain

By reviewing the adjacent figure ground diagram (fig 31), different stages of development can be observed and distinguished.

A figure-ground plan can be likened to a place's DNA, encapsulating its personality. Both good and bad traits are apparent in the simple display of solid black building areas (the 'figure') set against a white background representing undeveloped land (the 'ground'). The addition of watercourses (blue) helps to give some context to this important but slightly abstract view.

Tuxford's historic core is located along the key axis of Eldon Street and Lincoln Road, where the density is comparatively high and buildings predominantly face the street. The graveyard surrounding St. Nicholas' Church is an exception, being a key open space in the town centre. Development frontage predominantly comprises between 80-90% of the building line, broken-up infrequently by snickets connecting the main streets to rear courtyards and adjacent neighbourhoods. The overarching land use in the town centre is retail and commercial uses.

Tuxford's historic character extends southwards along Newcastle Street and Egmonton Road. Density decreases here due to house types, typically converted agricultural buildings or detached properties, often occupying larger plots. The notable exception to this is a number of terraced units creating focal points, such as at the Newcastle Street and Long Lane junction. Streets here are curvi-linear with no setback of properties, providing a strong sense of enclosure.

To the east of the town centre, property types become more standardised and reside within larger plots. These neighbourhoods are typically characterised by detached and semi-detached dwellings and a mixture of 2 and 3 storeys. Streets are predominantly curvi-linear often terminating in cul-de-sacs.

To the north of the town centre, the built form extends along Eldon Street formerly comprising ribbon development. However, modern development has extended the urban footprint eastwards between Eldon Street and the A1.

As illustrated on the figure ground, notable characteristics include:

- Building footprints corresponding with the organic growth of the town with narrow, longer footprints comprising the predominant building type along Eldon Street, Market Place and Newcastle Street
- Smaller footprints consistent with semi-detached and detached property types on a coarse urban grain street pattern in line with their period (likely post-war, late 20th century) radiate from these arterial routes.
- Large floor plates correspond to industrial and agricultural uses which break up the mainly domestic scale building footprints. These are evident at the Lodge Lane industrial estate and the Walkers Industrial Estate.
- Patterns of buildings and spaces towards the settlement edges become looser in line with the rural hinterland character



Figure 31: Built form across Tuxford

3.3.2 House types and scale

There are approximately 1213 dwellings across the NPA. These include:

- Detached: 387 comprising 31.9% of the total households
- Semi-detached: 470 comprising 38.7% of the total households
- Terraced: 277 comprising 22.8% of the total households
- Flats: 60 comprising 4.9% of the total households

Properties are typically two storeys in height with several bungalows providing variety to the roofscape.

There are several retail, agricultural and listed assets (former mills, barns and coaching houses) that exceed the predominantly two storey scale with a few cases of three and four storey buildings.



Figure 32: Housetypes across the NPA

3.3.3 Appearance and detailing

Red brick is the dominant elevational treatment across the majority of Tuxford's residential area. Variety on the streetscene is often provided by brown brick or white/pale rendered properties.

As illustrated on the adjacent imagery, roofing materials predominantly comprise red pantile tiling with few examples of concrete pantile tiling and slate with a standard gable roof orientation. In some cases, roof profiles are punctuated by gable and link dormers that face the street.

Detailing on properties includes:

- Dentilation underneath roof eaves
- Brick and stone banding to delineate between storeys
- Stone sills and lintels
- Bookend chimneys
- Stone keystones on openings
- Tumbled-in gable ends

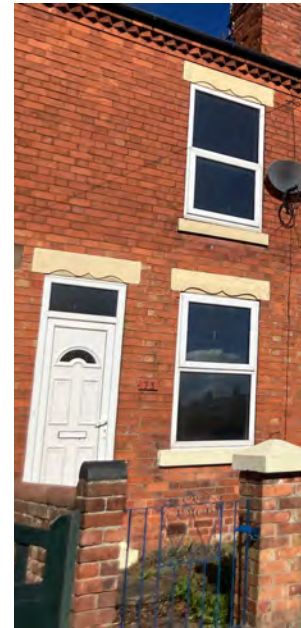
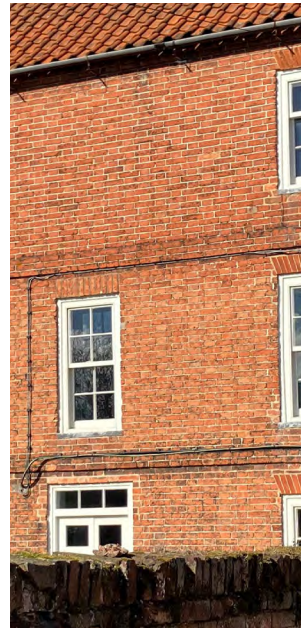


Figure 33: Building detailing across Tuxford



Red Brick



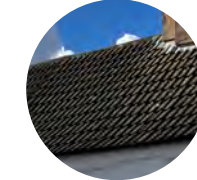
Brown Brick



White Render



Clay Pantile



Concrete Pantile



Chimneys

Facade

Roof

3.3.4 Boundaries

Boundary treatments (front, side and rear) contribute to the visual qualities of the streetscene and help delineate between the private and public realm.

Positive boundary treatments integrate into the wider hard and soft landscape, including the green infrastructure network, as well as provide enclosure to the street.

As demonstrated on the adjacent imagery, boundary treatments vary across the NPA. They include:

Open Boundaries

- Open boundaries (no edge) encourages a positive relationship between the street and the property.
- Open boundaries do not provide a defensible edge.
- Open boundary treatments do not delineate public and private spaces well.
- They are particularly prevalent at Clinton Gardens.

Vegetated Boundaries

- Vegetated boundaries predominantly come in the form of hedgerow (both short and tall).
- Tree planting also contributes towards vegetated boundaries.
- Vegetated boundaries are favourable on site edges where the property overlooks the wider countryside.
- Hedgerow boundary treatments can integrate into the wider green infrastructure network.
- They can be used as important corridors for local wildlife and contribute towards a biodiversity net-gain.
- They provide visual relief along the streetscene.
- They are particularly prevalent on Newcastle Street and Fleming Avenue.

Masonry Boundaries

- Stone/brick walls are a common form of boundary treatment across the NPA.
- They are a strong visual feature in the streetscene and establishes a strong boundary between the public and private realm.

- They are particularly prevalent on Peel Avenue.

Fenced Boundaries

- Fencing is a common boundary treatment for both side and rear boundaries.
- They provide privacy however, fencing which fronts onto the street should be discouraged'
- They are notable features along Clinton Gardens and Fleming Avenue.

Rail Boundaries

- Metal railings, or estate fencing, are also a common boundary treatment in Tuxford.
- They are commonly used as a front boundary treatment as they help to delineate between public and private space whilst retaining a semi-open character on the streetscene.
- They are notable features at the Old Brickyards development.
- Commonly paired with vegetated and masonry boundaries.



Figure 34: Open front boundary treatments along Clinton Gardens.



Figure 36: Vegetated boundaries along Fleming Avenue.



Figure 39: Open boundaries with no setback from the road at Newcastle Street / Long Lane.



Figure 35: Fencing along the streetscene is discouraged. Image from Clinton Gardens.



Figure 37: The setting back of properties with an open boundary treatment at Lincoln Road.



Figure 38: Masonry walls boundary treatments at Ollerton Road.

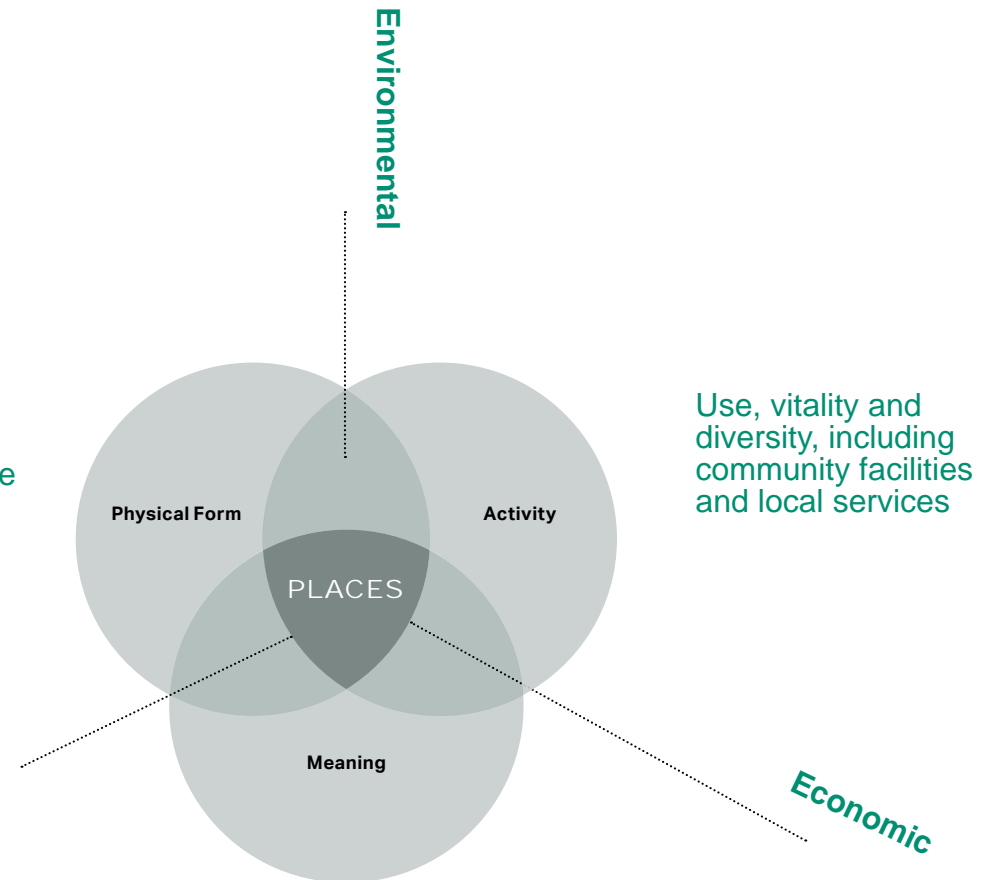
3.4 Characterisation study

The following pages present an analysis on the identified character areas across Tuxford. The definition of these character areas have been informed via a detailed analysis on several themes including urban grain, housetypes, character, density among others including the study set out in the Tuxford Neighbourhood Plan. The character areas include:

1. Conservation Area
2. Tuxford residential
3. Woodhouse place
4. Modern development
5. Orchard crescent
6. Tuxford industrial
7. Lincoln road east
8. Tuxford north
9. Tuxford west

A series of design guidance and codes specific to each character area conclude this section. Proposals within the character areas will be required to address the design codes relevant to the character area in which it resides, as well as the overarching codes that follow.

Physical conditions of existing built development including layout, form, scale, appearance, landscape character, waterways and flood risk



How a place is perceived, including local heritage, views inwards and outwards and social histories.

Key

-  NPA
-  Conservation Area
-  Tuxford Residential
-  Woodhouse Place
-  Modern Development
-  Orchard Crescent
-  Lincoln Road East
-  Tuxford North
-  Tuxford West
-  Town Centre Boundary

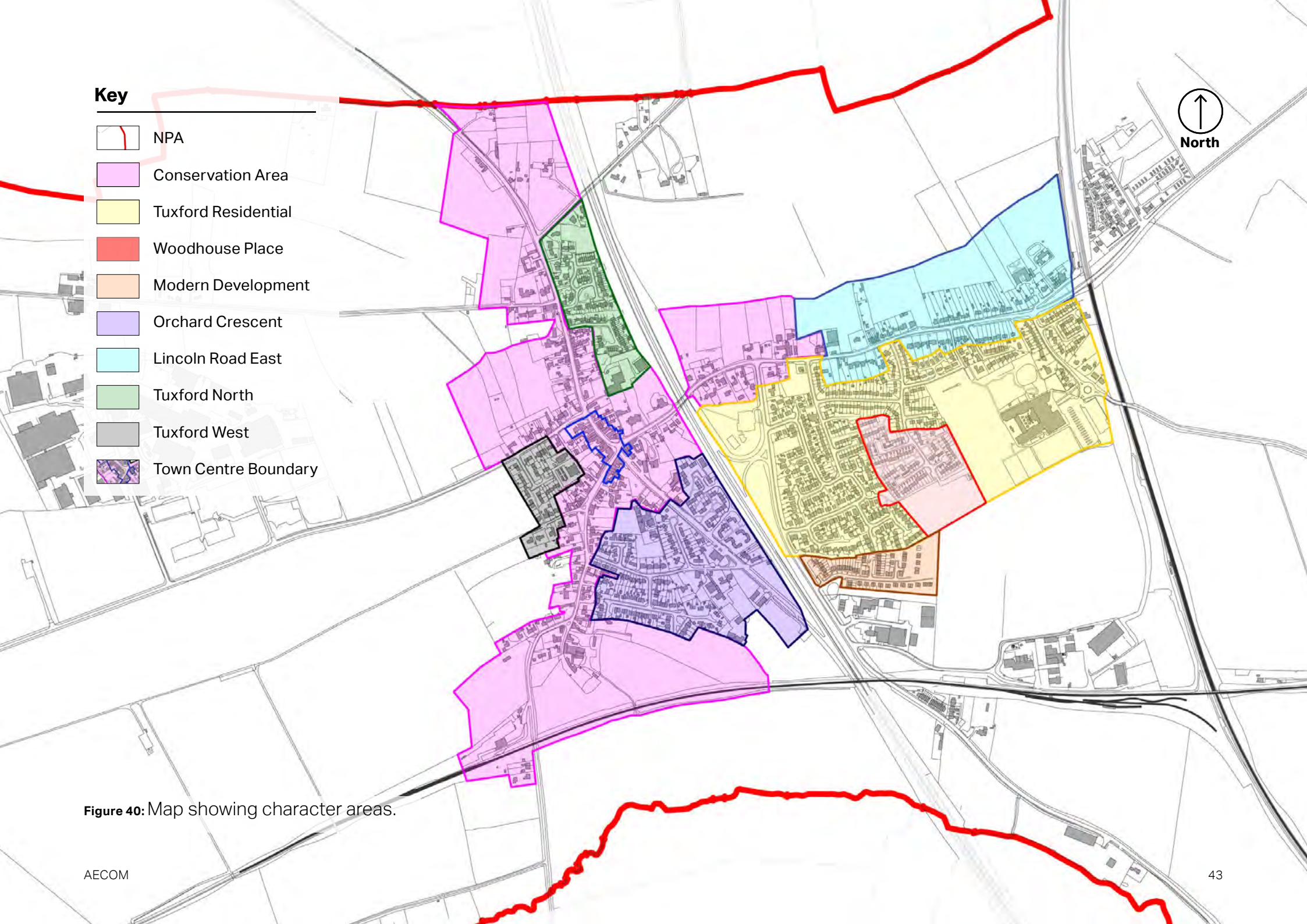


Figure 40: Map showing character areas.

1

Character Area 1: Conservation Area

3.4.1 Tuxford Conservation Area

Summary

The Tuxford Conservation Area comprises a large proportion of the urban area. The Tuxford CAAMP has identified 5 distinct sub-character areas within the Conservation Area, as illustrated in figure 41. These include:

- Market Place
- Church
- Egmanton Road
- Lincoln Road, and
- Mill Mount

For the purpose of this study, the conservation area, in its entirety, comprises character area 1 with each of the 5 sub-character areas being assessed individually.

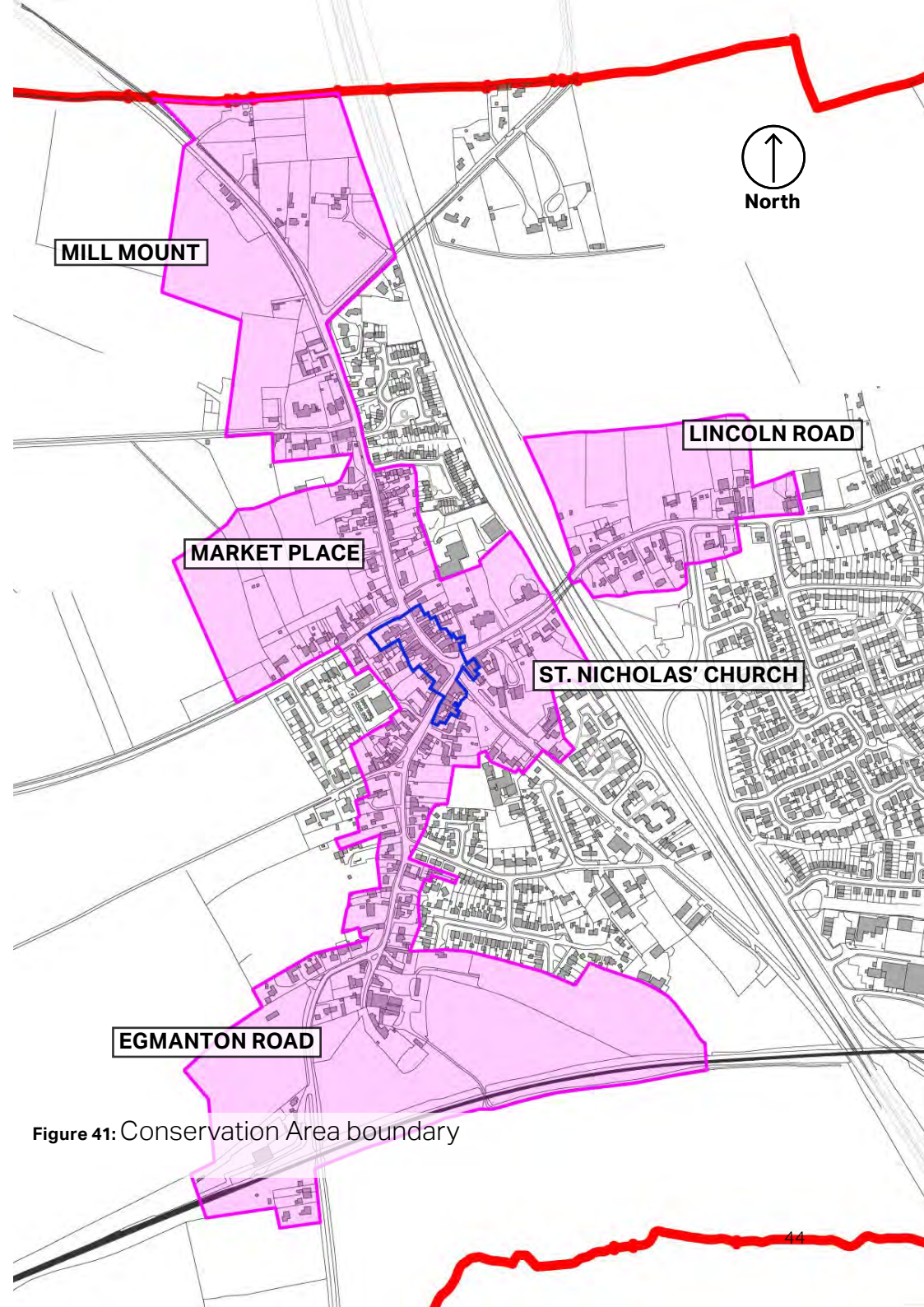


Figure 41: Conservation Area boundary

3.4.2 Tuxford Town Centre

Summary

The Bassetlaw Local Plan has identified a boundary for the town centre (as illustrated on the adjacent plan). The town centre contains Tuxford's retail uses including shops, cafe's and other commercial uses.

This study will not provide a specific character assessment for the town centre as the analysis for both the Market Place and St. Nicholas' Church sub character areas will provide a detailed review on matters pertaining to scale, detailing, materials among others.

The town centre boundary lies wholly within the conservation area. New development will, therefore, be required to be sympathetic to the surrounding historical context.

The Design Codes set out within this document focus primarily on setting the parameters on matters pertaining to scale, materiality, boundaries among others. Design Code A1 (right) however, focuses on the design parameters for shop fronts within this sensitive setting. Design Code A1 must also be considered alongside the specific codes for the character area in which it resides (Design Code A2 and A3) alongside other relevant Urban Design Codes set out in section 3.4.



Figure 42: Modern retail development



Figure 43: Range of frontage treatments within the conservation area



Figure 44: Traditional frontage treatments in the town centre

DESIGN CODE B1: SHOP FRONTAGES

Frontages contribute significantly to the character of a streetscape. They have a direct and strong relationship with the spaces they front, making their overall appeal an important design consideration within any proposal. Adhering to the following design codes will contribute to the enhancement, preservation, and creation of contextually responsive frontages:

- 1. Preserving traditional retail frontages:** Traditional timber shop fronts should be preserved and enhanced.
- 2. Proportional retail frontages:** Shop fronts applied to historic buildings should always consider the full building elevation and reference the vertical and horizontal architectural elements to create a strong relationship between the shop front and the host building.
- 3. Achieving contextual and modern retail frontages:** Modern shop fronts may be appropriate but should typically employ a 'less is more' approach to their design. Back-lit box signage will not be acceptable. The colour, style, and materials used within shop frontages should be respectful of the host buildings character (particularly historic buildings).

3.4.3 Sub-character area 1: Market Place

<p>i) Buildings and materials</p>	<p>Along with its listed buildings, Market Place Character Area contains numerous unlisted buildings that contribute positively to the special interest of the Conservation Area. Buildings are predominantly two storeys. Older buildings from the eighteenth and nineteenth centuries are mostly rectangular plan forms with steep roof pitches. The rooflines are characterised by brick chimneys. Facing materials considered to best reflect the historic and architectural interest of the character area are red brick, with natural clay pantiles or slate roofs, painted timber joinery and cast iron rain water goods. Period architectural features such as brick arch/wedge lintel window and door headers, brick bond patterns (Flemish and English), brick string courses and dental detailing, timber sash and casement windows, panelled timber doors, chimney stacks, cast iron rainwater goods and shop fronts form an essential part of the special interest of the character area.</p>
<p>ii) Public realm, amenity spaces, landscaping and boundary treatments</p>	<p>The Market Place is a focal public space. Works to highway infrastructure should have regard to the desirability of enhancing the historic environment with appropriate highway layouts, surfacing and street furniture. The character area contains a variety of landscape and boundary features, green verges, open spaces and trees.</p>
<p>iii) Key views and vistas</p>	<p>There are several key views and vistas in the Market Place character area due to a number of notable buildings and focal points. These views are illustrated on figure 84.</p>
<p>iv) Layout and plan form</p>	<p>The historic layout and plan form of the character area is predominantly characterised by buildings that front onto the street, often directly onto or close to the highway. Older buildings within former burgage plots often possess rear service cross wings and outbuildings that run perpendicular and/or enclose yards. Alleyways and yards are typical throughout the character area. The layout of plots contribute positively to the historic plan form of the character area.</p>

DESIGN CODE B2: MARKET PLACE SUB CHARACTER AREA

New buildings or alterations and extensions to existing buildings in this character area must:

- Not result in the harm or destruction of any building considered to contribute positively to the character and appearance of the character area.
- Adopt the facing materials and roofing materials set out in table 05 (i).
- Not impact or obstruct the key views identified in figure 84.
- Conform to the historical layout and plan form of the character area as illustrated on figure 41, and described in table 05 (iv).
- Consider its impact on the wider public realm by, where appropriate, reinforcing the strong building line and frontage to the main street and seek to provide street furniture in line with the advice set out in table 05 (ii).
- Reinforce the permeable qualities by integrating the proposal with the snicket/footpath network.

The loss of, or unsympathetic alteration of, existing buildings, features, and detailing of existing buildings will not be supported.

Table 05: Characteristics of the Market Place sub character area

3.4.4 Sub-character area 2: Church

(i) Buildings and materials	The Church character area contains a number of significant buildings that contribute positively to the special interest of the Conservation Area. Older buildings from the eighteenth and nineteenth centuries are rectangular plan forms with steep roof pitches. The rooflines are characterised by chimneys. Historic materials are predominantly red brick with clay pantiles or natural slate, painted timber joinery and cast iron rainwater goods.
(ii) Public realm, amenity spaces, landscaping and boundary treatments	The character area contains a wide variety of landscape features including boundary treatments, verges, open space and trees. Of particular note are the ashlar and brick walls on Lincoln and Newark Road and the fine mature trees throughout. Historic building materials for boundary walls are predominantly red brick and stone ashlar.
(iii) Key views and vistas	There are several key views and vistas in the Church character area due to a number of notable buildings and focal points. These views are illustrated on figure 84. The majority of these notable views focus around the central node at the heart of Tuxford, where Lincoln Road meets Newcastle Street and Newark Road.
(iv) Layout and plan form	The layout of the Church Character Area is characterised by individual buildings set within large plots. Buildings on Lincoln Road are located within former burgage plots, predominantly with frontages facing the road.

Table 06: Characteristics of the Church sub character area

DESIGN CODE B3: CHURCH SUB CHARACTER AREA

New buildings or alterations and extensions to existing buildings in this character area must:

- Not result in the harm or destruction of any building considered to contribute positively to the character and appearance of the character area.
- Adopt the facing materials and roofing materials set out in table 06 (i).
- Not impact or obstruct the key views identified in figure 84.
- Conform to the historical layout and plan form of the character area as illustrated on figure 41, and described in table 06 (iv).
- Consider its impact on the wider public realm by, where appropriate, reinforcing the strong building line and frontage to the main street and seek to provide street furniture in line with the advice set out in table 06 (ii).
- Reinforce the permeable qualities by integrating the proposal with the snicket/footpath network.

The loss of, or unsympathetic alteration of, existing buildings, features, and detailing of existing buildings will not be supported.

3.4.5 Sub-character area 3: Egmonton Road

<p>(i) Buildings and materials</p>	<p>Along with its listed buildings, Egmonton Road character area contains numerous unlisted buildings that contribute positively to the special interest of the Conservation Area. These are regarded as heritage assets and are marked out on figure 20. Dwellings are generally two storeys. Older buildings from the 18th and 19th centuries are mostly rectangular plan forms with steep roof pitches. The rooflines are characterised by brick chimneys. Historic materials are predominantly red brick with clay pantiles or natural slate, painted timber joinery and cast iron rainwater goods.</p>
<p>(ii) Public realm, amenity spaces, landscaping and boundary treatments</p>	<p>The character area contains a wide variety of landscape features including boundary treatments, verges, open space and trees. Historic boundary walls are generally red brick in Flemish or English Garden Wall bond and traditional fencing is timber post and rail with five bar gates.</p>
<p>(iii) Key views and vistas</p>	<p>There are a number of important views within and outside of the character area. Notable views (as illustrated on figure 84) include the views out to the wider countryside and those directed towards focal points along Newcastle Street.</p>
<p>(iv) Layout and plan form</p>	<p>The established layout of Egmonton Road character area is characterised by low-density houses and cottages in rectilinear plan forms facing or gable end to the road. Additional accommodation is predominantly achieved by rear service wings perpendicular to the principal house. The layout of narrow plots south of the green contributes positively to the historic plan form of the character area.</p>

Table 07: Characteristics of the Egmonton Road sub character area

DESIGN CODE B4: EGMANTON ROAD SUB CHARACTER AREA

New buildings or alterations and extensions to existing buildings in this character area must:

- Not result in the harm or destruction of any building considered to contribute positively to the character and appearance of the character area.
- Adopt the facing materials and roofing materials set out in table 07 (i).
- Conform to the boundary treatments set out in table 07 (ii).
- Not impact or obstruct the key views identified in figure 84.
- Conform to the historical layout and plan form of the character area as illustrated on figure 41, and described in table 07 (iv).
- Be of low density, with a maximum density of 15dph.
- Incorporate green infrastructure assets such as tree and hedgerow planting both within residential curtilages and on the street.

The loss of, or unsympathetic alteration of, existing buildings, features, and detailing of existing buildings will not be supported.

3.4.6 Sub-character area 4: Lincoln Road

<p>(i) Buildings and materials</p>	<p>Lincoln Road character area contains numerous buildings that contribute positively to the special interest of the Conservation Area. Dwellings are generally two storeys. Older buildings from the 18th and 19th centuries are mostly rectangular plan forms with steep roof pitches. The rooflines are characterised by brick chimneys. Historic facing materials are predominantly red brick with clay pantiles, painted timber joinery and cast iron rainwater goods.</p>
<p>(ii) Public realm, amenity spaces, landscaping and boundary treatments</p>	<p>The character area contains a wide variety of landscape features including boundary treatments, verges, open space and trees. Boundary treatments are generally red brick walls and hawthorn hedges.</p>
<p>(iii) Key views and vistas</p>	<p>Notable views in the Lincoln Road character area (as identified on figure 84) include long distance views from Lincoln Road across the undulating countryside.</p>
<p>(iv) Layout and plan form</p>	<p>The historic eighteenth and nineteenth century layout of Lincoln Road is characterised by low density clusters of cottages and farm buildings either facing onto, or being gable end onto the street and sited close to the highway. The spaces between farmsteads on the north side of Lincoln Road contribute positively to the historic street pattern and plan form of the character area.</p>

Table 08: Characteristics of the Lincoln Road sub character area

DESIGN CODE B5: LINCOLN ROAD SUB CHARACTER AREA

New buildings or alterations and extensions to existing buildings in this character area must:

- Not result in the harm or destruction of any building considered to contribute positively to the character and appearance of the character area.
- Adopt the facing materials and roofing materials set out in table 08 (i).
- Conform to the boundary treatments set out in table 08 (ii).
- Not impact or obstruct the key views identified in figure 84.
- Conform to the historical layout and plan form of the character area as illustrated on figure 41, and described in table 08 (iv).
- Incorporate green infrastructure assets such as tree and hedgerow planting both within residential curtilages and on the street.

The loss of, or unsympathetic alteration of, existing buildings, features, and detailing of existing buildings will not be supported.

3.4.7 Sub-character area 5: Mill Mount

(i) Buildings and materials	The Mill Mount character area contains numerous buildings that contribute positively to the special interest of the Conservation Area. Dwellings are generally two storeys. Buildings from the 18th and 19th centuries are mostly rectangular in form with steep roof pitches. The rooflines are characterised by brick chimneys. Historic facing materials are predominantly red brick with clay pantiles, painted timber joinery and cast iron rainwater goods.
(ii) Public realm, amenity spaces, landscaping and boundary treatments	The character area contains a wide variety of landscape features including boundary treatments, verges, open space and trees. Boundary treatments are generally red brick walls and hawthorn hedges.
(iii) Key views and vistas	There is a number of important views within and outside of the character area. Notable views (as illustrated on figure 84) include the view towards Tuxford Windmill from the B1164 and along Eldon Street towards the town centre.
(iv) Layout and plan form	The historic eighteenth and nineteenth century layout of Mill Mount, Great North Road and Bevercotes Lane is characterised by low density clusters of cottages and houses either facing onto, or being gable end onto the street. The spaces between and around houses on Mill Mount contribute positively to the historic street pattern and plan form of the character area.

Table 09: Characteristics of the Mill Mount sub character area

DESIGN CODE B6: MILL MOUNT SUB CHARACTER AREA

New buildings or alterations and extensions to existing buildings in this character area must:

- Not result in the harm or destruction of any building considered to contribute positively to the character and appearance of the character area.
- Adopt the facing materials and roofing materials set out in table 09 (i).
- Conform to the boundary treatments set out in table 09 (ii).
- Not impact or obstruct the key views identified in figure 84.
- Conform to the historical layout and plan form of the character area as illustrated on figure 41, and described in table 09 (iv).
- Incorporate green infrastructure assets such as tree and hedgerow planting both within residential curtilages and on the street.

The loss of, or unsympathetic alteration of, existing buildings, features, and detailing of existing buildings will not be supported.

Market Place



Church



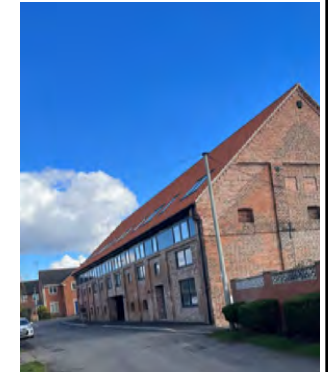
Egmonton Road



Lincoln Road



Mill Mount



2

Character Area 2: Tuxford Residential

3.4.8 Tuxford Residential

Summary

- A range of house types including terraces, semi-detached and detached properties built in the inter and post war period.
- Arranged across a 'planned' street network.
- A planned street pattern comprising curvi-linear streets with many routes terminating in cul-de-sacs.
- Parking is included on-plot (predominantly to the front or side of properties), on-street, or in line with Radbyrn principles, within parking courtyards.
- Minimal street trees however significant vegetation on the character area boundary and within residential curtilages.
- Notable assets include Tuxford Academy and Tuxford play park.
- Dwelling density ranges between 35 - 40 dph.

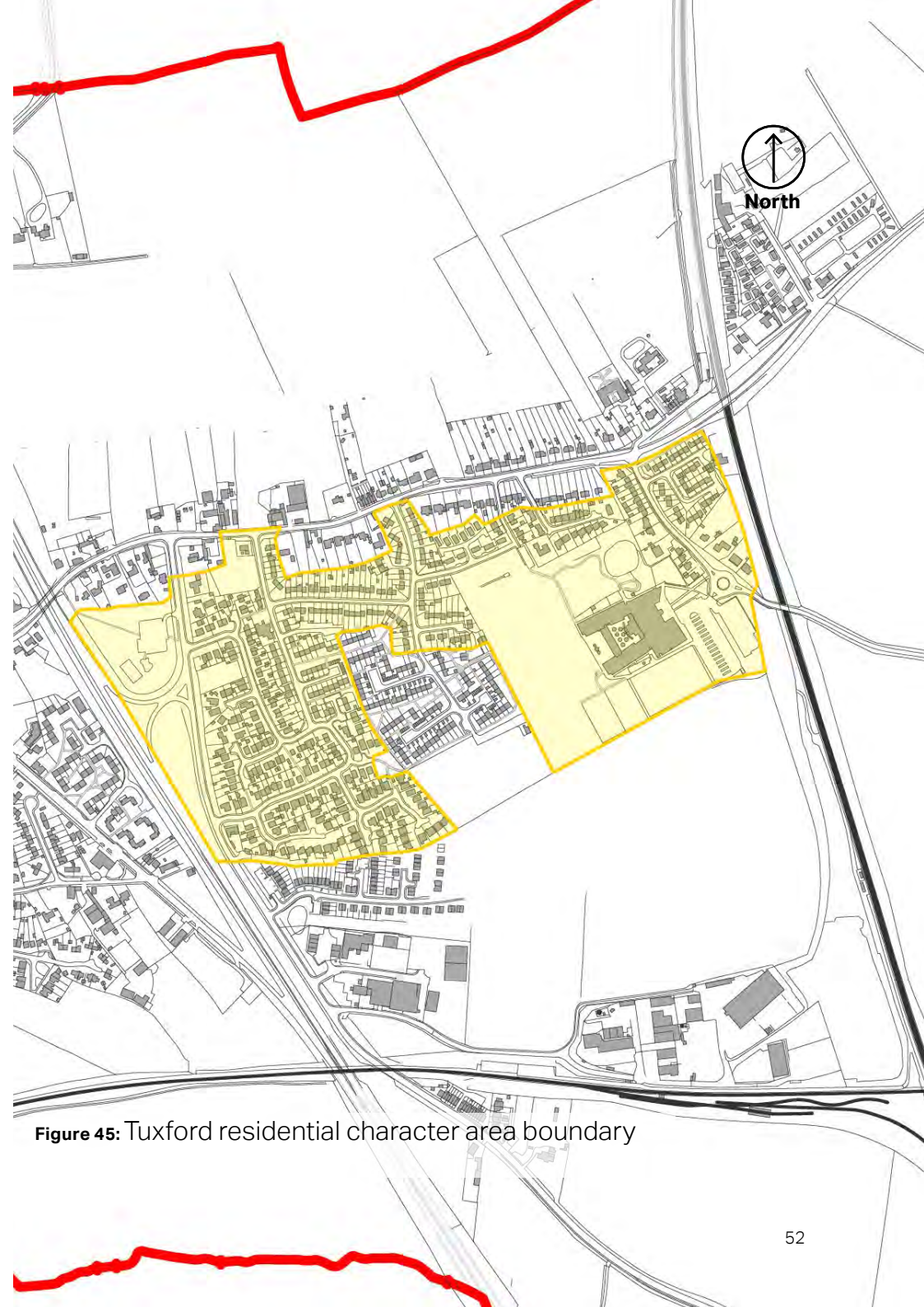


Figure 45: Tuxford residential character area boundary

Key characteristics

Colours and materiality



Façade



Boundary treatments



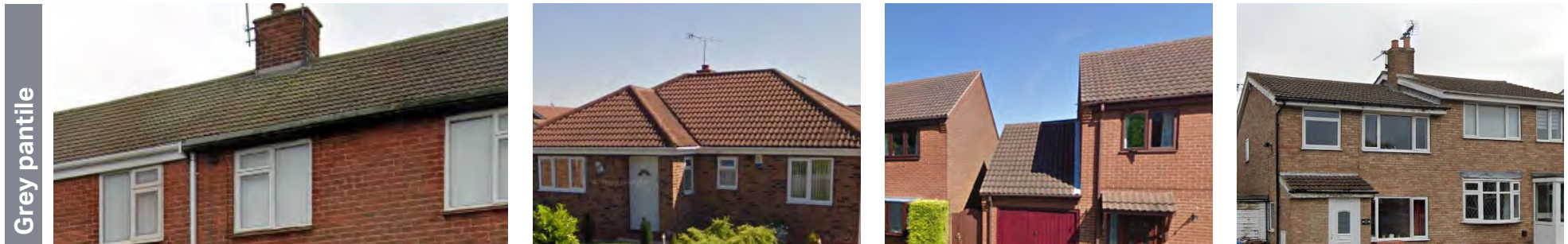
Roofing



Parking



Roof profile



3

Character Area 3: Woodhouse Place

3.4.9 Woodhouse Place

Summary

- Arranged across a radburn block structure, likely constructed in the 60s and early 70s.
- Open boundaries that poorly define the street edge.
- Significant planting along footpaths and within private amenity space creating a sylvan character.
- Parking typically provided to the rear within courtyards.
- Properties generally set back from the road or path by approximately 5m.
- Properties are predominantly 2 storey in height with shallow roof pitches. Some examples of single storey properties.
- Mainly red bricked properties with some rendering and red tile hanging providing diversity on the streetscene.
- Permeable layout with a significant number of footpaths.
- Notable assets include Gilbert Avenue Playing Field.
- Dwelling density ranges between 40 - 45 dph.



Figure 46: Woodhouse Place character area boundary

Key characteristics

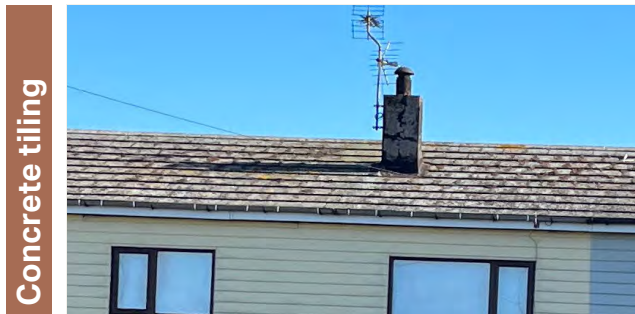
Colours and materiality



Façade



Roofing



Boundary treatments



Detailing



4

Character Area 4: Lincoln Road East

3.4.10 Lincoln Road East

Summary

- Ribbon development with a burgage plots structure arranged along Lincoln Road.
- Strong plot boundaries, usually with hedges, verges and sporadic trees along the streetscene
- Predominantly two storeys in height.
- Strong active frontage to the street
- Red brick is the dominant elevational treatment with slate tiles with very few examples of pantile.
- Colour palette includes red, white and grey
- Detailing includes brick band coursing and over-sailing in places.
- Dwelling density ranges between 20 - 25 dph.

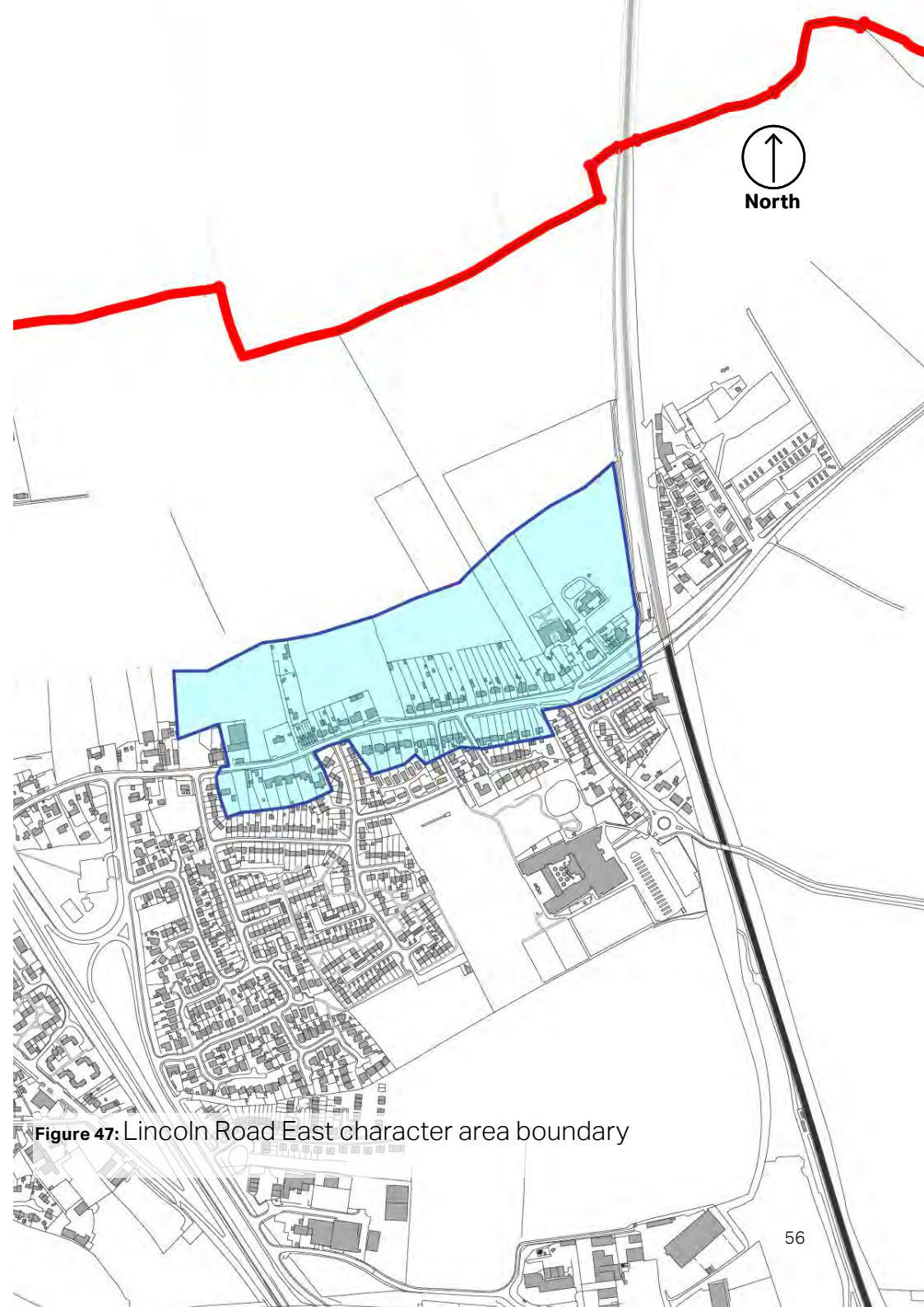


Figure 47: Lincoln Road East character area boundary

Key characteristics

Colours and materiality



Façade



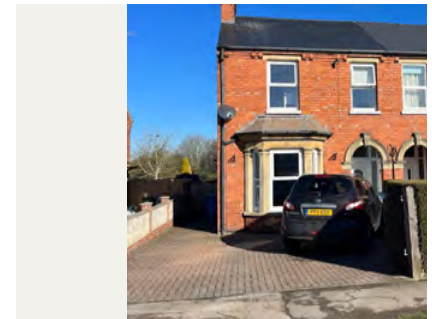
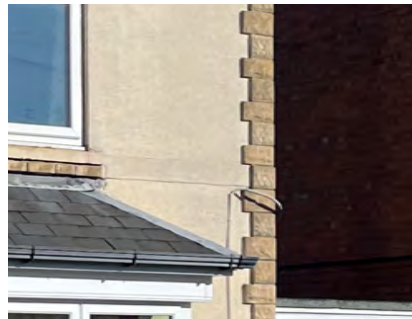
Roofing



Boundary treatments



Detailing



5

Character Area 5: Clinton Gardens

3.4.11 Clinton Gardens

Summary

- Modern development with a range of housetypes including terraces and semi-detached two storey properties with several examples of single storey bungalows.
- Arranged across a single spine road with secondary routes providing access to residential properties.
- Red brick is the dominant elevational treatment.
- Roofs are predominantly arranged with a traditional gable pitch with red roof tiling.
- Limited soft landscape in the streetscene, grass verges help delineate between public and private space however there are no formal front boundary treatments.
- Close boarded fencing bound side and rear boundaries.
- An area of public open space is provided alongside a large area reserved for attenuation.
- Dwelling density ranges between 30 - 35 dph.
- Car parking dominating the streetscape due to the excessive use of front-of-plot car parking. Combined with a lack of soft landscaping, this creates an unattractive streetscene.



Figure 48: Clinton Gardens character area boundary

Key characteristics

Colours and materiality



Façade



Boundary treatments



Roofing



Parking



6

Character Area 6: Orchard Crescent

3.4.12 Orchard Crescent

Summary

- Perimeter block structure with larger properties that infill on existing historic streets.
- Consistent set back of properties (between 7 - 9m) and frontage on to the streets.
- Boundary treatments typically comprise hedges and low walls to the back of footpaths.
- Properties are predominantly 2 storeys (with projecting gables) in heights with a mix of red and brown brick
- Concrete roof tiles are the dominant roof treatment with several examples of blue slate tiles.
- Detailing is limited to banding and course detailing around windows.
- Peel Avenue is particularly distinctive in the context of the wider NPA with street trees, some verging and a different boundary treatment, which all combine to give this street a distinctive character.
- Dwelling density ranges between 20 - 25 dph.



Figure 49: Orchard Crescent character area boundary

Key characteristics

Colours and materiality



Façade



Roofing



Boundary treatments



Parking



7

Character Area 7: Tuxford North

3.4.13 Tuxford North

Summary

- Two self-contained estates arranged across Eldon Green and Burleigh Crescent.
- Generally terraced properties of 3 storeys in height with some examples of 2 - 2.5 storey dwellings providing variance to the roofscape.
- Generally open front boundary treatments with some low planting and railings.
- Set back from the road approximately 0.6 - 5m.
- Predominantly red/orange bricks with yellow bricked and white/pale rendered properties providing visual contrast on the streetscene.
- Stone lintels and sills surrounding openings.
- Detailing includes weathered bricks, dentilation and brick banding delineating between storeys.
- Parking provided on-plot either to the side or to the front of the property.
- Notable assets include two areas of public open space.
- Dwelling density ranges between 45 - 50 dph.



Figure 50: Tuxford North character area boundary

Key characteristics

Colours and materiality



Façade



Boundary treatments



Roofing



Detailing



Windows



8

Character Area 8: Tuxford West

3.4.14 Tuxford West

Summary

- House types include bungalows, terraces and flats.
- Rectilinear plot structure with buildings closer to the street edge.
- Red and brown brick are the dominant elevational treatment with some pebble-dashing and stone cladding and concrete roof tiling.
- Sylvan character with mature trees within residential curtilages and significant hedgerow planting.
- Inconsistent boundary treatments with open front boundaries with timber knee rail fencing and some examples of hedges and low walls.
- Set back properties generally around 6m.
- Parking is typically provided on-plot (to the front of properties) or on-street.
- Minimal detailing on properties with some projecting bays, and cladding paneling details.
- Dwelling density ranges between 40 - 45 dph.

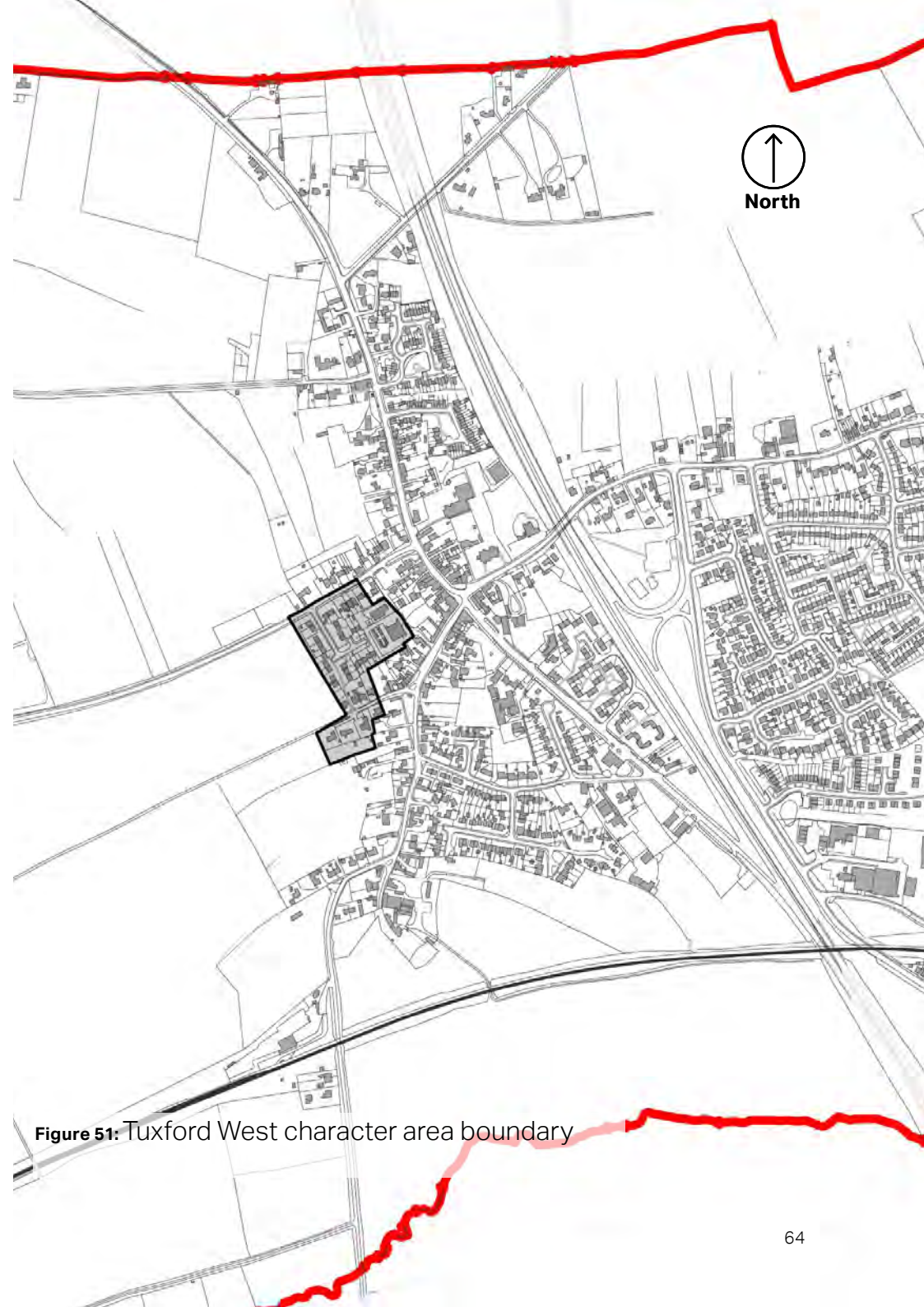


Figure 51: Tuxford West character area boundary

Key characteristics

Colours and materiality



Façade



Roofing



Boundary treatments



Parking



3.4.15 Design Code B7: Character Areas

The following design codes provide design guidance per each identified character area. The guidance set out is unique to each character area and proposals within these areas will be required to meet the criteria set out here alongside the other design codes provided within this document.

These codes will be applied to all development proposals within the identified character areas, including infill and backland development proposals.

A. TUXFORD RESIDENTIAL

Proposals in the Tuxford Residential character area must:

1. Reinforce the existing building line by setting properties back by 8m.
2. Be arranged across a perimeter block.
3. Adopt vegetated front boundaries by including hedgerow and tree planting.
4. Provide on-plot parking either to the side of the property or within garages (reference should be made to Design Code C1).
5. Provide an active frontage to the main street. Where properties are positioned on corners, dwellings must provide frontage to both streets.
6. Establish a rhythm to the roof profile with occasional gables to the street to diversify the roofscape.
7. Adopt appropriate materials, such as:
 - Red brick, preferably arranged in a stretcher bond.
 - Occasional pale / white rendered properties to provide visual diversity on the streetscene.
 - Concrete roof tiling.



Figure 52: Solar panels retrospectively installed on a roof



Figure 53: Vegetated boundary providing a soft boundary



Figure 54: Appropriate street widths providing a strong sense of enclosure

B. WOODHOUSE PLACE

Proposals in the Woodhouse Place character area must:

1. Maintain the simple building-street-relationship with long sight lines and strong green edges to the street.
2. Provide frontage to open spaces and streets.
3. Allow for long sight-lines along key routes and spaces.
4. Place parking and front doors onto the main lines of movement (reference should be made to Design Code C1).
5. Adopt appropriate materials, such as:
 - Red brick.
 - Natural slate tiling .
 - White rendering with in-segment repetition to provide visual interest along the streetscene.

C. LINCOLN ROAD EAST

Proposals in the Lincoln Road character area must:

1. Maintain the simple building-street-relationship with long sight lines and strong green edges to the street.
2. Adopt appropriate materials, such as:
 - Red brick
 - Natural slate tiling
 - White rendering with in-segment repetition to provide visual interest along the streetscene
3. Avoid inactive frontages along Lincoln Road.
4. Avoid excessively narrow plots or buildings with no ground-level activity.
5. Be setback from the road behind a vegetated boundary.
6. Include a comprehensive soft landscape scheme and the planting of trees and hedgerow.
7. Provide parking on-plot either to the side or rear of the property (reference should be made to Design Code C1).



Figure 55: Terraced properties overlooking a key open space.



Figure 56: Open boundary treatments encouraging interaction with the street.



Figure 57: Hipped roofs varying the roofscape at the Lincoln Road East character area

D. CLINTON GARDENS

Proposals in the Clinton Gardens character area must:

1. Retain a strong frontage to the street.
2. On site edges, ensure properties are outward facing.
3. Provide parking that is on-plot, to the side of the property (reference should be made to Design Code C1).
4. Arrange properties across perimeter blocks.
5. Provide frontage to open spaces and streets.
6. Adopt appropriate materials, such as:
 - Red brick for the elevational treatment.
 - Red pantile roof tiling.

E. ORCHARD CRESCENT

Proposals in the Orchard Crescent character area must:

1. Retain a strong frontage to the street.
2. Provide parking that is on-plot, either to the front or to the side of properties (reference should be made to Design Code C1).
3. Arrange properties across perimeter blocks.
4. New streets must have street trees in the streetscene.
5. Apply detailing on properties that include brick banding to delineate between storeys.
6. Front boundaries must comprise hedging or low masonry walls.
7. Adopt appropriate materials, such as:
 - Red or brown brick for the elevational treatment.
 - Concrete or blue slate roof tiling.



Figure 58: Frontage on to an area of POS at Clinton Gardens



Figure 59: Fenced boundary between two neighbourhoods



Figure 60: Parking hidden from view (to the side of a property)

F. TUXFORD NORTH

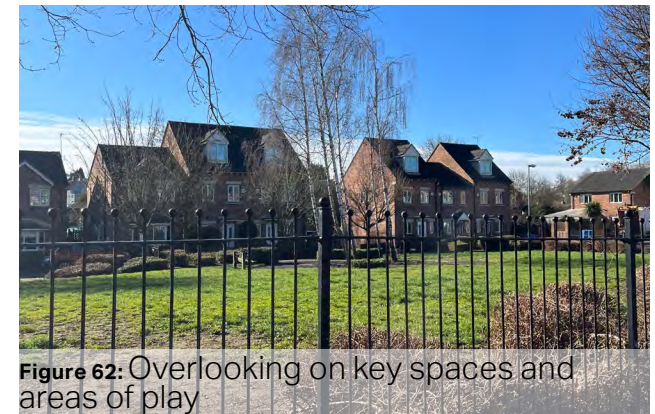
Proposals in the Tuxford North character area must:

1. Maintain a strong building line with a property setback within the range of 0.6 - 5m.
2. Provide parking that is on-plot (reference should be made to Design Code C1).
3. Arrange properties across perimeter blocks.
4. Provide frontage to open spaces and streets.
5. Adopt appropriate materials, such as:
 - Red brick.
 - Deep red brick.
 - Occasional white / pale rendering.
 - Natural slate roofs.
 - Stone sills and lintels.
 - Natural slate tiling .

G. TUXFORD WEST

Proposals in the Tuxford West character area must:

1. Maintain a strong building line with a property setback of 6m.
2. Connect to adjacent streets, spaces and neighbourhoods with footpaths.
3. Be no more than 2 storeys in scale.
4. Provide planting in both residential curtilages and on the streetscene.
5. Adopt appropriate materials, such as:
 - Red brick.
 - Stone cladding.
 - Concrete roof tiles.



3.4.16 Design Code B8: Conversion of agricultural buildings

Conversion of existing agricultural buildings must:

- a. Preserve the agricultural character of the building.
- b. Have a minimal visual impact on the landscape in which it relates.
- c. Be fit for purpose but also designed to be sensitive to their surroundings, integrating into the wider landscape setting
- d. Ensure that new openings for windows and doors complement originals in size, form and location.
- e. Retain, reuse and repair wherever possible traditional outbuildings and existing boundaries.
- f. Ensure that new boundaries follow existing boundary lines and incorporate existing natural features such as hedgerows, walls or footpaths.



Figure 64: Examples of sustainable and contemporary development that reference vernacular architecture in the open countryside.



Figure 65: Example of dwellings and outbuildings that are partially screened by trees and planting.

3.4.17 Design Code B9: Extensions and alterations

- a. Extensions to existing properties must be subservient or of an appropriate scale in relation to the original building.
- b. Extension to the front of the property should be avoided as this may compromise visual cohesion with the street frontage.
- c. Extensions to historic buildings, or within the setting of listed assets, should be sympathetic and respond sensitively to the original character of the building or nearby listed assets.
- d. Material palettes and style of the extension should be carefully chosen to blend cohesively with the original form and features.
- e. Extensions must not exceed a 45 degree splay from the centre of the window of the nearest habitable window of an adjacent window to avoid a reduction in daylight.

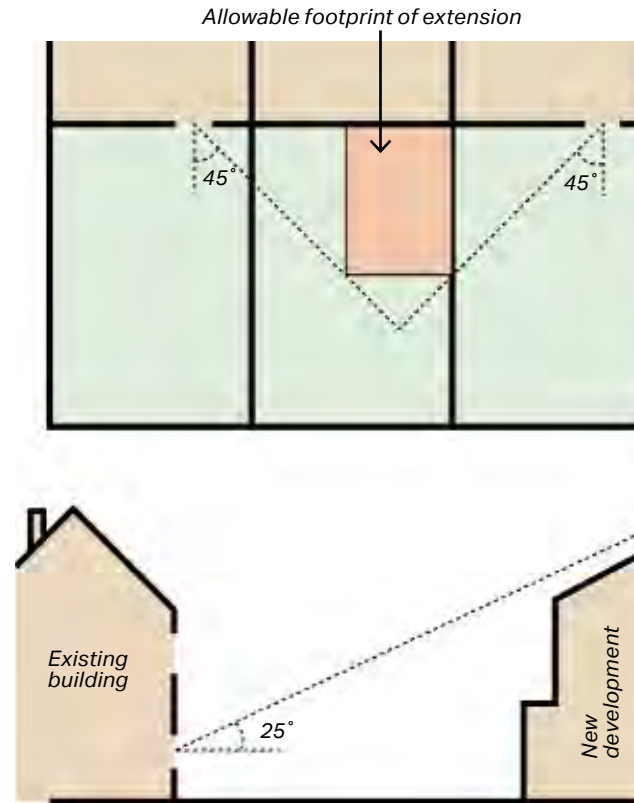


Figure 66: 25° / 45° rule

3.5 Movement network

With regards to movement, Tuxford lies in a strategic location which benefits from easy access to the nationally significant A1, providing onwards access to Doncaster to the north and Newark-on-Trent to the south.

Whilst a notable asset, the A1 dissects the NPA in a north south direction which restricts easy east west movement for both vehicles and pedestrians.

3.5.1 Vehicular movement

As illustrated on the adjacent plan (figure 67), Tuxford's vehicular movement network varies subject to its development age, use and location.

The route network within the historic core of Tuxford is arranged across an organic street pattern which reflects its heritage and use as an important coaching stop along the Great North Road. Newark Road and Market Street are well connected and have a high level of connectivity for both pedestrians and cars to adjacent streets and neighbourhoods.

The arterial routes of Ollerton Road, Eldon Street, Lincoln Road and Newark Road convene at the heart of the NPA providing access to settlements both to the north, south, east and west.

Streets to the west of the A1 are typically curvi-linear with very few terminating in cul-de-sacs. Streets to the east of the A1 however, reflect a more planned approach to street design as a result of the period of development. Streets here commonly terminate with cul-de-sacs, decreasing the permeability of these neighbourhoods. This is a common approach to street design with post-war housing developments.

3.5.2 Public transport

The closest available train service for the residents of Tuxford is available at Retford, approximately 7 miles from the NPA. There are several bus services in Tuxford however, these include:

- 40 - North Muskham - Tuxford School
- X37 - Newark - Tuxford (am) & Tuxford - Retford (pm)
- 36c - Doncaster - Tuxford
- 609 - Newark - Tuxford
- S036 - Ollerton - Tuxford Academy
- SA - Retford - New Ollerton
- 609B - Tuxford - Newark
- Doncaster Shopper - Tuxford - Retford - Doncaster
- 339|Nottsbus Connect - Tuxford - Sutton On Trent - North Muskham
- 37A - Newark - Tuxford - Retford
- 37 - Newark - Tuxford - Retford

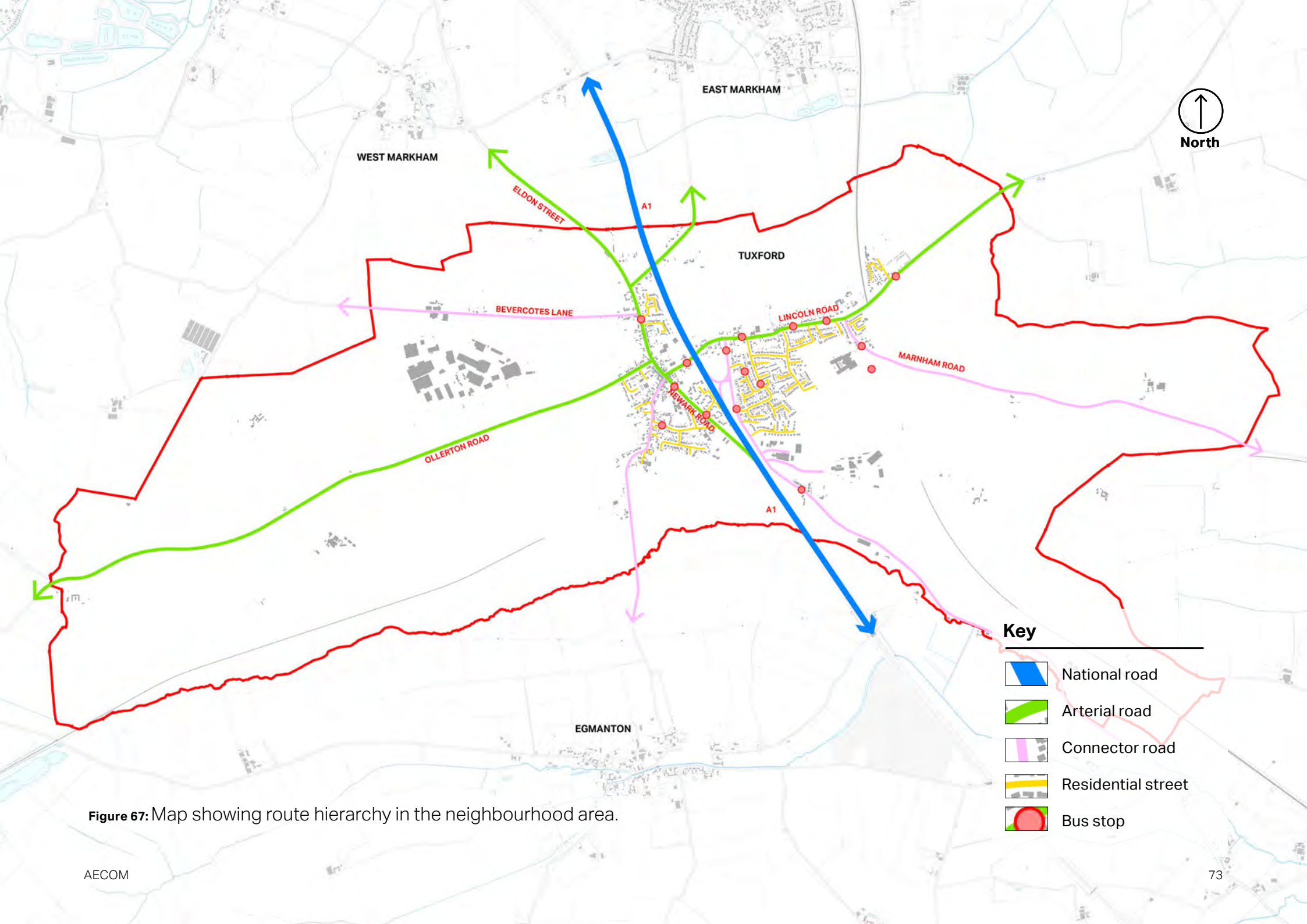


Figure 67: Map showing route hierarchy in the neighbourhood area.

3.5.3 Non-vehicular movement

A strong characteristic of Tuxford's streets and spaces is the inter-connectivity of neighbourhoods provided by a network of paths and snickets punctuating the building line and connecting adjacent streets and neighbourhoods, creating a permeable network for pedestrians and cyclists.

Across the historic core (town centre), these are in the form of narrow and strongly enclosed snickets accessed straight off the main street through gaps in the building line or Porte Cochere entranceways.

Within the more modern housing developments, footpaths are typically wider and in a comparatively sylvan setting with grass verges and trees providing a degree of enclosure. Paths typically navigate between properties and across areas of public open space.

3.5.4 Access to the countryside

Tuxford's rural setting should enable simple and easy access to the countryside beyond the settlement boundary. However, Tuxford's road and footpath network often requires residents and visitors to double-back for the return trip.

Long Lane is often the route of choice when accessing the countryside. Long Lane is a farm track that runs parallel to Ollerton Road. A footpath links Long Lane with Ollerton Road but this is currently unkempt and bounds directly to the rear boundaries of properties at The Pastures. The footpath, designated as a Public Right of Way (PRoW) also forms an important asset for the site allocated for housing (HS14).

Other routes, such as the one to the east of the Markham Road terminates, requiring pedestrians to cross the A1. There is poor interconnection between these routes and the town centre.





Figure 72: Bull Bell Yard: Snickets accessed via the main street. Strong degree of enclosure.



Figure 73: Path between properties at Gilbert Avenue



Figure 74: Footpaths within a more sylvan setting

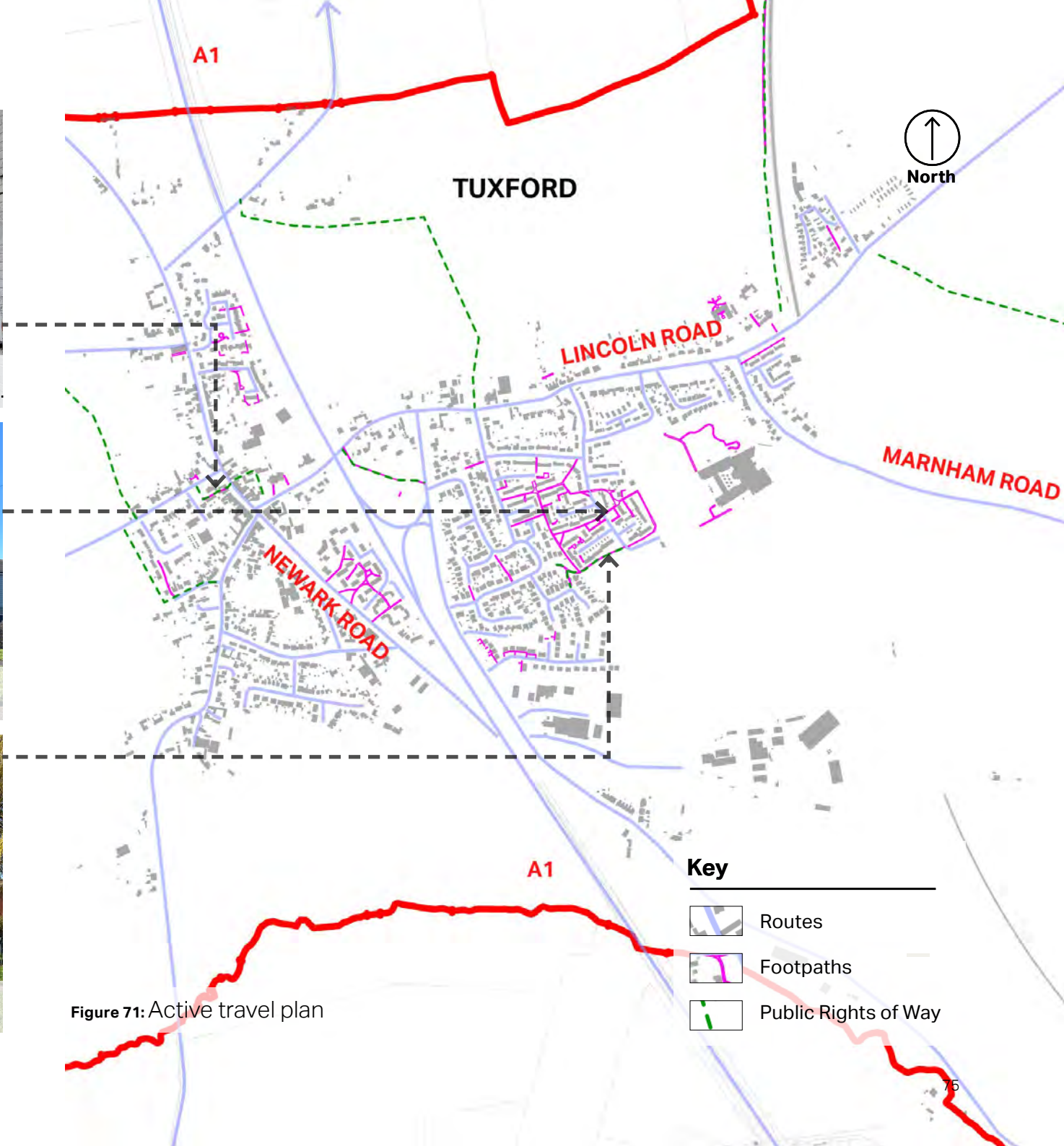


Figure 71: Active travel plan

Key

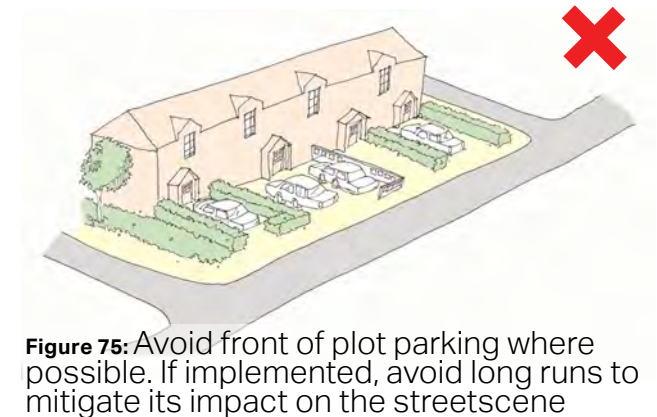
	Routes
	Footpaths
	Public Rights of Way

3.5.5 Design Code C1: Parking

New development that proposes, or impacts the existing provision of, car parking must apply the following design considerations:

- a. The number of car parking spaces required should be proportional to the property's expected occupation.
- b. New parking spaces should be integrated on plot with parking spaces set behind the building line, generally to the side or rear of the property.
- c. For narrow dwellings it is preferred to retain a small front garden with a boundary wall as opposed to an open hard surface parking space.
- d. Where parking is required to the front of the plot it should be accorded sufficient space and utilise hedgerows to screen cars laterally from the street. Front of property parking shall not be in a run of in excess of 5 properties to avoid detracting from the visual qualities of the streetscene.
- e. To contribute towards an effective drainage strategy, porous surfaces and green parking spaces (for example gravel) must be considered at the planning stage.

- f. New buildings must provide a strong degree of overlooking and natural surveillance where parking courts are proposed.
- g. Carefully consider the location of visitor parking provision. Visitor parking shall not occupy spaces that lie adjacent to the site edge.
- h. Extensions or alterations to existing properties will not result in the loss of on-plot parking provision, thus leading to an increase of on-street parking



3.5.7 Design Code C2: Connectivity

Designated pedestrian and cycle lanes should form the basis for the movement network, around which vehicle traffic can be managed.

Cycling routes should generally be provided on off-carriageway routes within the green infrastructure network where possible and connect to key destinations/ onward routes.

Footways should generally be on both sides of the carriageway but can be single-sided if development is also one-sided.

New footpaths must be appropriately overlooked by buildings to encourage passive natural surveillance, improve safety and mitigate anti-social behaviour.

Design interesting street scenes and building arrangements from a pedestrian perspective, including key views to the surrounding landscape.

Development proposals must integrate with the Public Right of Way network when schemes are located within proximity to a footpath.

3.5.6 Design Code C3: Streets

Development proposals that propose new streets must:

- a. Follow a simple but well-defined street hierarchy and a strategy of how this will be interpreted 'on the ground'. Elements of the street hierarchy should be defined through a narrowing of street widths, use of different materials and planting strategies.
- b. Arrange streets, routes and spaces to ensure permeability for pedestrians and cyclists – with focus on access to services and facilities, public transport, and existing routes. The proposed development must demonstrate how it promotes connectivity and access to the parts of Tuxford adjacent to it.
- c. Place street trees within adequate verges, alongside the carriageway, on plot or in open spaces and street lighting and other infrastructure must be designed in combination.
- d. Promote methods to encourage slow-vehicle speeds as well as improve legibility and permeability through a change in materiality, raised tables and alternative widths in line with the street hierarchy.

- e. Propose shorter streets of less than 70m (from Manual for Streets) to help to keep speeds down. Also horizontal speed calming measures, including visual narrowing of carriageway, on street parking bays, and landscaping may also be appropriate.



Figure 79: Snickets are a great way to connect adjacent neighbourhoods.



Figure 78: Density and enclosure on streets and spaces will promote a degree of natural surveillance and safety. Buildings should be orientated to provide frontage along the streetscene.

3.5.8 Legibility and wayfinding

The key junction of Newark Road, Lincoln Road, Newcastle Street and Eldon Street form an important node within the town centre. It comprises an important meeting space at the heart of the town where footpaths and roads convene and where many notable buildings and assets form focal points.

Building scale and density provide a strong sense of enclosure around the node. The articulation of key corners and the increase of scale up to 3 storeys establishes focal points and header features improving permeability and legibility.

As illustrated on the adjacent plan, several key views of notable assets and spaces are available throughout Tuxford. These are identified in the CAAMP. Views vary from outward vistas across the wider countryside to views of notable buildings and focal points such as St. Nicholas' Church. There is a high concentration of notable views and focal points in the Town Centre.



Figure 80: Strong sense of enclosure along lanes, paths and snickets



Figure 81: Varying roofscape, however, scale helps frame notable views of notable assets



Figure 82: Snickets connecting adjacent neighbourhoods reinforce permeability



Figure 83: Views of St. Nicholas' church are available throughout the NPA



Key






-  NPA
-  Focal points (as identified in the NP*)
-  Key views (as identified in the NP*)
-  Nodes
-  Gateways

Figure 84: Legibility plan

3.5.9 Design Code C4: Legibility

Planning proposals must seek to:

- Be orientated to face the street to provide a degree of overlooking and natural surveillance to streets and the public realm. Building on key corners should seek to provide an active frontage (doors / fenestration) on both sides to improve site and town legibility.
- The arrangement of streets, routes and spaces must be permeable for pedestrians and cyclists – with focus on access to services and facilities, public transport, and existing routes. The proposed development must demonstrate how it promotes connectivity and access to the parts of Tuxford adjacent to it.
- The legibility of schemes should be secured through careful use of features such as vistas, header buildings and a hierarchy of streets and spaces.

- Public spaces shall be overlooked by buildings of an appropriate scale and density that reflects the local character (as set out in chapter 03) to provide a sense of enclosure and a degree of overlooking to enhance natural surveillance.
- Notable buildings should be orientated and provide articulation on key corners and focal points to enhance legibility and permeability from adjacent neighbourhoods.
- Retain, frame, and enhance important view corridors. New buildings, or extensions to existing buildings, must not obstruct view corridors.

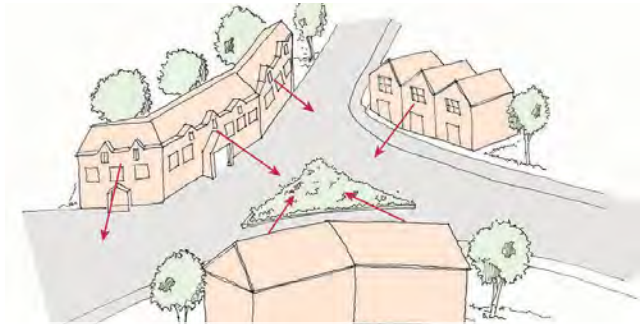


Figure 87: Overlooking and enclosure also provides a degree of natural surveillance and safety



Figure 85: Focal points and terminating buildings can improve site legibility and permeability



Figure 86: Streets and spaces should have a degree of overlooking to promote natural surveillance



3.6 Sustainability and landscape

3.6.1 Context and character

Tuxford is predominantly a rural NPA with the urban area only occupying less than 10% of the total NPA area. Historic maps reveal that some historic field boundaries have survived, albeit many have disappeared through intensive arable farming.

This section will explore the neighbourhood area's green spaces and underlying landscape character including topography and waterways.

3.6.2 Topography

The Landscape Character of the NPA is described as a 'series of more undulating ridges'. Tuxford lies at 50-60 metres above sea level on a ridge of higher ground between two streams which run roughly parallel from south west to north east.

3.6.3 Landscape character

Landscape character is defined as the distinct, recognisable, and consistent pattern of elements in the landscape. It is these patterns that give each locale its 'sense of place', making one landscape different from another, rather than better or worse. Landscape character can describe the geology, topography, land cover and vegetation, features degree of openness and views, all of which relate to and inform the origins, setting and makeup of the settlement. Tuxford therefore, is intrinsically connected to its rural hinterland.

The NPA falls within National Landscape Character Area 48 Trent and Belvoir Vales and further broken down at a Local level (Bassetlaw's Landscape Character Assessment, 2009) as the Mid Nottinghamshire Farmland.

The land around Tuxford is arable farmland but with '*small areas of industrial and commercial development ...located near to Tuxford and several small settlements, including farms ... dotted throughout the area. Field boundaries are predominantly shrubs rather than hedges and often has gaps with no trees apparent, however tree cover is relatively strong within Tuxford.*'

National Landscape Character Area 48: Trent and Belvoir Vales

Key characteristics:

- A gently undulating and low-lying landform in the main.
- The bedrock geology of Triassic and Jurassic mudstones has given rise to fertile clayey soils across much of the area.
- Agriculture is the dominant land use.
- A regular pattern of medium to large fields enclosed by hawthorn hedgerows, and ditches in low-lying areas, dominates the landscape.
- Extensive use of red bricks and pantiles in the 18th and 19th century has contributed to the consistent character of traditional architecture across the area.
- Stone hewn from harder courses within the mudstones, along with stone from neighbouring areas, also feature as building materials, especially in the churches

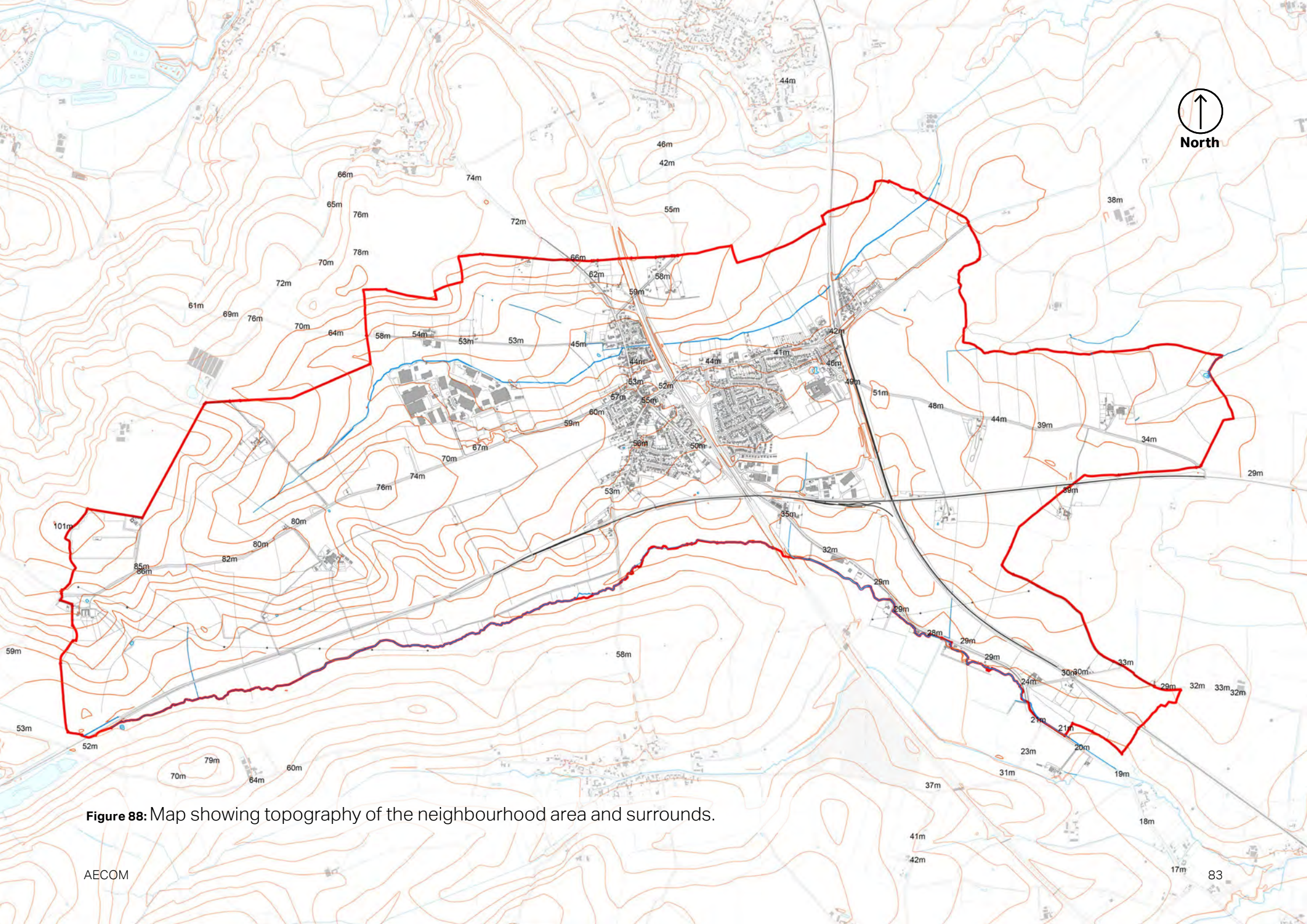


Figure 88: Map showing topography of the neighbourhood area and surrounds.

3.6.4 Green infrastructure

Tuxford is rural in character and has a strong relationship with the wider landscape. .

Field boundaries are often marked by hedgerow and trees which significantly enhance the green infrastructure network across the NPA.

There are limited street trees along residential streets, however mature trees residing within residential curtilages provide visual relief along some of the streets which significantly enhances the sylvan character of the NPA, specifically in the conservation area.

Due to the NPA's flat, yet slightly undulating, topography, there are a number of long distance views across Tuxford and the wider countryside.



Figure 89: Mature hedgerow



Figure 90: Fields bounded by hedgerow

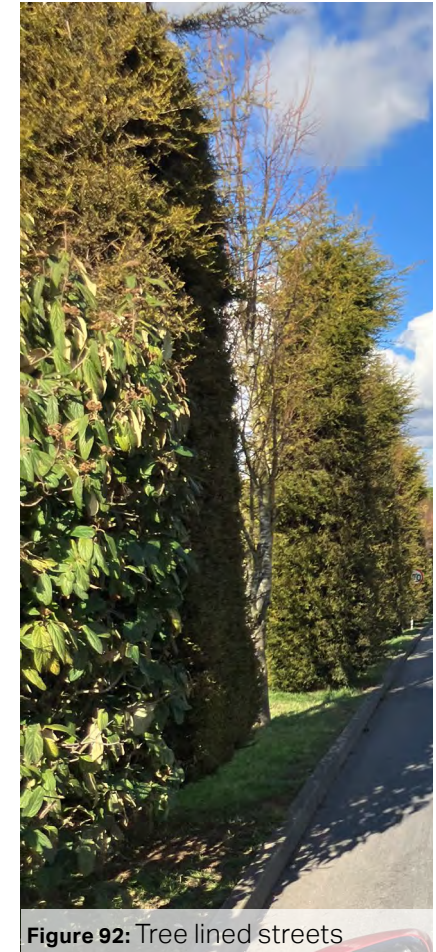


Figure 92: Tree lined streets

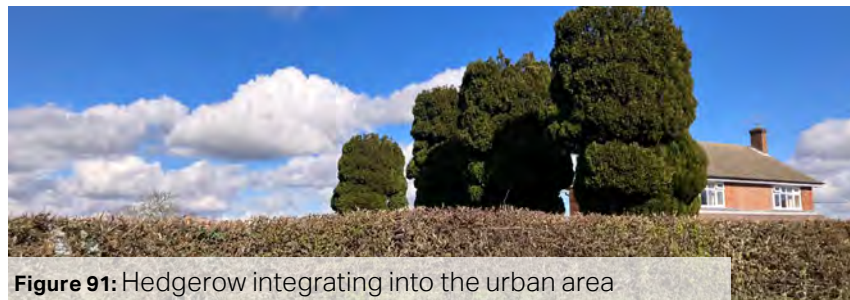


Figure 91: Hedgerow integrating into the urban area



Figure 93: New tree planting



Figure 94: Long distance views across countryside

3.6.5 Design Code D1: Biodiversity

Planning applications in Tuxford must be supported by proposals for the incorporation of features for biodiversity enhancement, in addition to what may be required to address any adverse impacts resulting from the development. Appropriate features include:

- Features for nesting birds associated with the built environment such as swifts and house sparrows.
- Features for roosting bats.
- Green walls and green/brown roofs.
- Mixed native species hedgerows.
- Creation of new wildlife ponds and the re-creation of historically lost ponds.
- Native scrub and tree planting.
- Orchard/fruit trees.
- Creation of species rich grassland.
- Creation of rough grassland suitable for foraging barn owls and provision of barn owl nest boxes.
- Log piles and compost heaps.

- Provision of gaps in boundary fences to allow access by hedgehogs and provision of hedgehog domes. Hedgehog Highways should be marked out on site to ensure they are not blocked up by future landowners.

The loss of trees, hedgerows and native planting should be avoided and instead these features should be incorporated into the design of proposed development.

The loss of historic field boundaries will not be acceptable.

Where the loss of trees is unavoidable, a 3 for 1 system should be incorporated where 3 new trees should be planted for every 1 lost.

All major development should be accompanied by a landscape layout which prioritises the use and incorporation of native species and promotes overall biodiversity net gain.

Aim to develop a multifunctional green infrastructure network made up of a variety of elements: including hedgerow, private gardens, tree planting, grass verges, SuDs, amenity green space, watercourses, cemetery, allotments, orchards, meadows, and playing fields.



Figure 95: Promoting a multifunctional green infrastructure network including verges, hedgerow, gardens, trees and planting

3.6.6 Design Code D2: Landscape setting and rural identity

All development proposals that are located on settlement edges must:

- Ensure dwelling frontages are orientated outwards and avoid rear boundaries facing the landscape - unless suitably screened by planting.
- Retain the visual quality of the landscape by reducing the scale of development; Dwellings should not exceed 2 storeys in these locations.
- Soften the boundary between built form and the wider landscape by encouraging soft landscape planting such as hedgerow, wildflower, and tree planting.
- Provide access links for both pedestrians and cyclists to the wider countryside, and where possible, connect to the Public Right of Way network.
- Avoid designing a street hierarchy that arranges primary roads and over-engineered turning heads to abut the wider landscape.
- Be of a low density with buildings interspersed with tree planting to visually soften the impact on the surrounding



Figure 96: Orientation of properties to face outwards across the countryside



Figure 97: Hedgerow screening built form



Figure 98: Overlooking of a public footpath

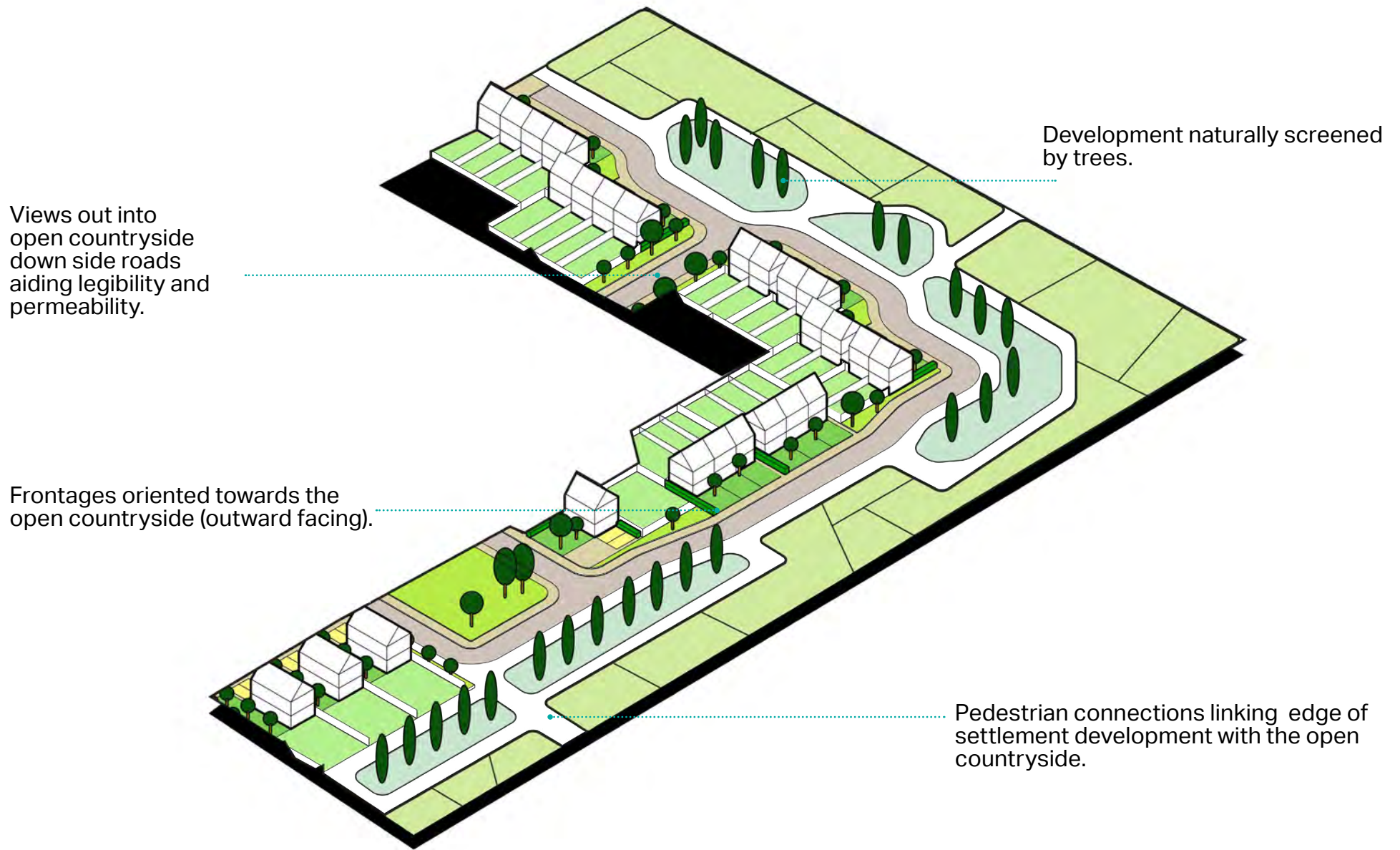


Figure 99: Landscape sensitive edge of settlement development diagram.

3.6.7 Blue infrastructure and flooding

Flooding across the NPA is limited to the areas immediately adjacent to Goosemoor Dyke and an unnamed land drain to the north of the town centre and to the south of Bevercotes Lane.

A small number of residential properties across the NPA lies within flood zones 2 and 3. These are located at Bevercotes Lane and the modern development at Burleigh Crescent and Eldon Green.

There is also flood risk from surface water to be considered. This collects on areas of hardstanding such as road surfaces and parking areas in dips or flows along escape routes after periods of heavy rainfall. This type of flood risk is distributed in pockets throughout the settlement

Whilst located outside the flood zone, the development at Clinton Gardens has provided significant areas for attenuation. These areas comprise recessed areas of the open space used as attenuation basins.

3.6.8 Design Code D3: Water Sensitive Urban Design

As a standard, proposals must promote methods to mitigate increased risk of storms/flooding with sustainable drainage systems.

Development proposals should seek to:

1. Integrate sustainable drainage systems to assist with flood alleviation from rivers and drains and surface water runoff and incorporate surface features such as planted rain gardens to express this function.
2. On minor development sites, proposals must integrate bio-swales and/or rain gardens and/or permeable surfacing in their design to assist with surface water drainage.
3. On schemes that propose 10 or more dwellings, proposals must integrate bio-swales and/or attenuation basins in their design. These must be planted with wildflower planting to assist achieving a biodiversity net gain. Sensitive and appropriate fencing should be installed around the basin to ensure safety for local residents.

4. Natural barriers (e.g. planting) and appropriate side slopes should be introduced to help manage perceived safety risks.
5. On schemes that propose 10 or more dwellings, notwithstanding private amenity space, circa 40% of the site should be retained as green infrastructure, 10% of which may be required for SuDS detention or attenuation features dependent on drainage character.
6. The location of SuDS features will naturally be determined by topography (working towards the lower end of the site) and must be outside of the key flood risk areas.
7. Proposals must adopt the use of permeable paving in hard landscaped areas.

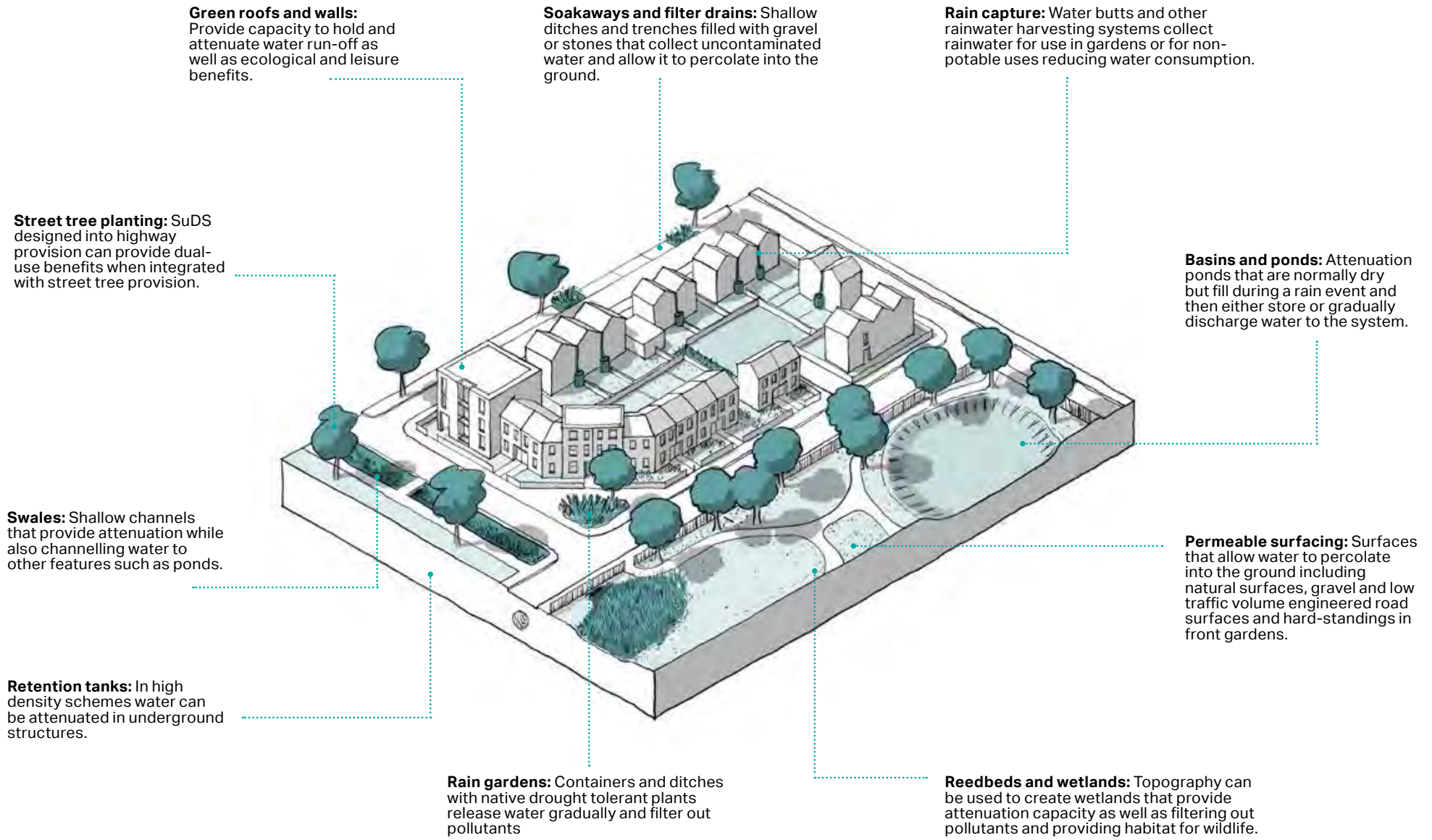


Figure 100: Sustainable drainage systems as set out in the National Model Design Code.

3.6.9 Design Code D4: Assessing Renewable Energy Sources

Key considerations in the assessment of renewable energy sources for development to be net zero for power generation may include (but are not limited to):

- Optimising solar orientation of streets and buildings. Aim to increase the number of buildings on site that are oriented within 30° of south (both main fenestration and roof plane) for solar gain, solar energy (solar panels) and natural daylighting.
- A heat network for any new development.
- Ground conditions to accommodate loops for ground source heat and space for air source heat pump units.
- Links to local estates for sustainable coppicing, harvesting or recycling of biomass fuels.
- Local wind speed and direction for micro-generation wind turbines.
- Collaborating with utilities, highway authorities, telecoms companies and other stakeholders when designing and delivering projects to minimise energy usage and disruption during the construction stage and reinforcement of the electricity grid for additional electric vehicles and renewables.



Figure 101: Integrated solar panels on slate roof.

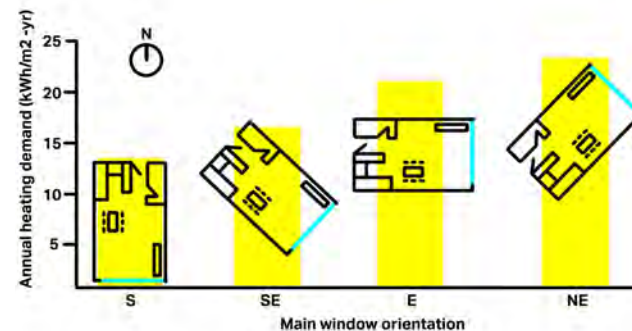


Figure 102: Building orientation influences the annual heating demand.

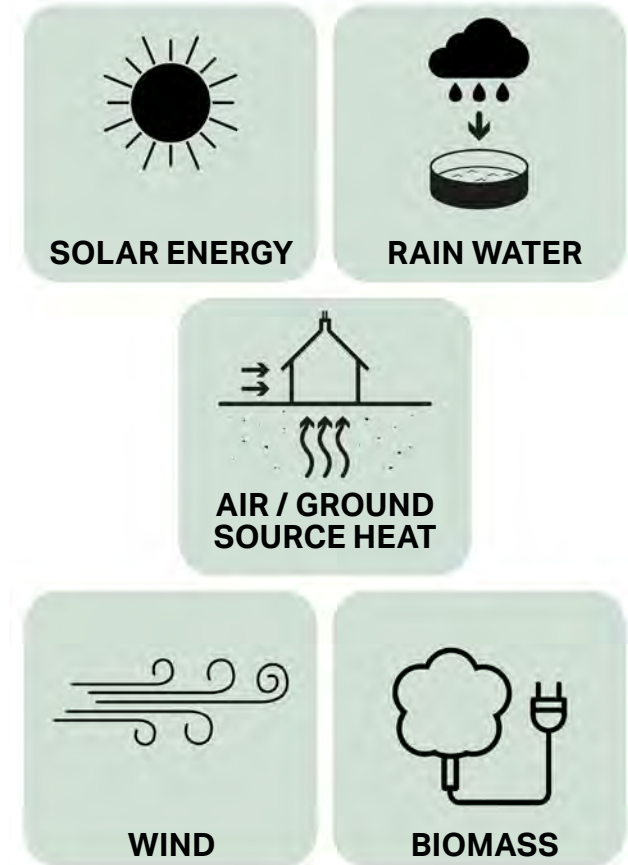


Figure 103: Key alternative natural energy sources.

3.6.10 Design Code D5: Electric Vehicle Charging and Cycle Storage

Current transition to electric vehicle technology and ownership comes with related issues that must be addressed by new development. Two key areas are explored below - public parking areas and private parking for homes.

Design issues to address for public parking:

- Provision of adequate new charging points and spaces, and retrofitting existing parking areas.
- Serving remote or isolated car parks (e.g. in woodland areas).
- Retrofitting existing public parking and upkeeping design quality of streets and spaces (attractiveness and ease of servicing and maintenance).
- Integrating charging infrastructure sensitively within streets and spaces, for example, by aligning with green infrastructure and street furniture.
- Sensitive integration of charging infrastructure within the Conservation Area.

Design issues to address for parking and cycle storage at the home

- Convenient on-plot parking, charging points and cycle storage close to homes.
- Potential to incorporate charging points under cover within car ports and garages.
- Integrate car parking sensitively within the streetscene. For example, parking set behind the building line or front of plot spaces lined with native hedgerow planting.
- Consider visitor parking and charging needs.
- Existing unallocated and on-street parking areas and feasibility to provide electric charging infrastructure not linked to the home.
- Potential for providing secure, serviced communal parking areas and cycle storage for higher density homes.



Figure 104: Public electric vehicle charging point.



Figure 105: Home electric vehicle charging point.

3.6.11 Design Code D6: Energy Efficiency Measures to Net Zero Carbon

New development must be net zero in use. For all building stock to be carbon neutral by 2050, all new buildings need to be carbon neutral from now on so that they do not need costly retrofitting. It is paramount that new development adopts a fabric first approach in line with the Government's emerging Future Homes Standard and Part L of the UK Building Regulations in order to attain higher standards of insulation and energy conservation.

- All new residential buildings must be sustainably constructed to achieve zero operational emissions by reducing heat and power demand and supplying all energy demand through on-site renewables. This includes limits on space heating and total energy use, taking an energy-based approach to energy usage applying to both regulated and non-regulated energy use.
- Reducing energy demand further by employing passive design principles for homes is desirable and can make development more acceptable to the

community (window orientation, solar gain, solar shading, increased insulation, ventilation with heat-recovery).

- Maximise on-site renewable energy generation (solar, ground source, air source and wind driven).
- Incorporate domestic batteries (to store excess electricity) or other energy storage (i.e. large hot water tanks) to enable intermittent renewable electricity supply (e.g. from solar panels) to be stored to match demand and maximise renewable energy potential. Grid balancing and managing periods when it is cold, not sunny and not windy is going to be a big challenge of the 2030s and something new homes should be adapted for.
- Consider building form and thermal efficiency: point-block / terraced / semi-detached / detached all have different energy efficiency profiles. Local design preference and character considerations could ease acceptance for development.
- Ensure that there is sufficient and appropriate outside space for a washing line to enable energy efficient clothes drying.

- All new development must be well designed to be resilient to heat stress and overheating using the Good Homes Alliance toolkit.
- All new residential developments need dual aspect and adequate windows and openings to allow for cross ventilation, light colour or green surroundings, high thermal mass and useful external shading.
- Tree planting / landscaping to manage heat stress should include small deciduous species around new and existing residential areas to provide shade in the summer but not block daylight in the winter. This will also help manage flood risk and provide habitat. Green roofs and walls provide similar benefits.
- All development should incorporate sustainable drainage systems (SuDS) to manage flooding, to provide habitats for wildlife and to deliver cooling effects.
- All homes should be designed with the flexibility to be used for homeworking.

3.6.12 Design Code D7: Sustainable Building Materials and Construction

Development must seek to adopt sustainable design and construction standards by:

- Reducing the embodied carbon of the design by minimising the use of energy and carbon intensive materials (e.g. use wood structures and concrete alternatives instead of steel and concrete).
- Reusing materials.
- Using recycled materials.
- Using local, sustainable materials and/or responsibly sourced (e.g. FSC timber, or certified under BES 6001, ISO 14001 Environmental Management Systems)
- Preventing loss or damage to topsoil.



Figure 106: Carbon negative affordable homes in Derbyshire.

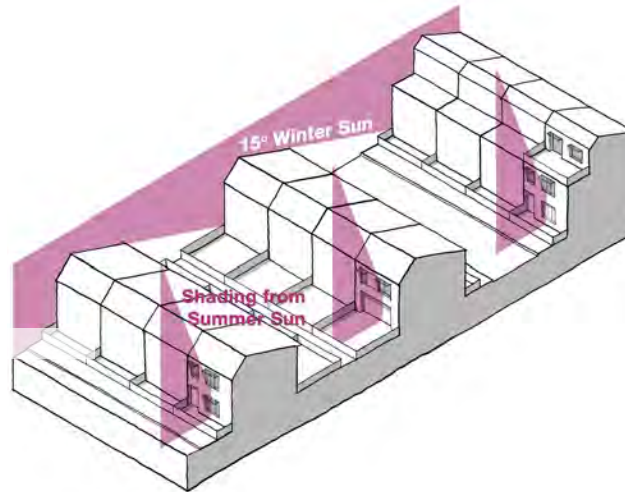
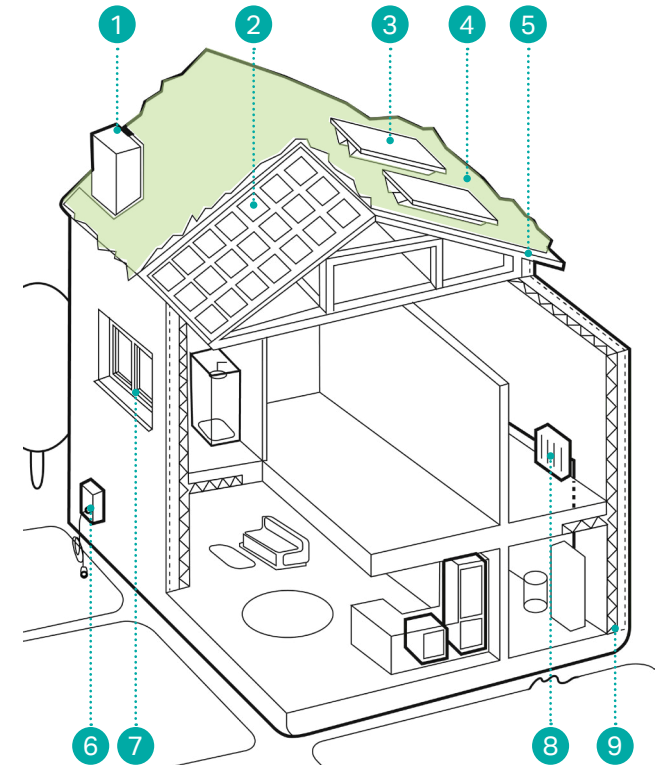


Figure 107: The layout and orientation of new buildings contributes to reducing their energy needs by avoiding overshadowing, maximising passive solar gain, internal daylight levels and ventilation (source: National Model Design Code).



1. Mechanical ventilation system.
2. Integral solar tiles.
3. Solar panels.
4. Green roof.
5. Roof insulation.
6. Electric vehicle charging point.
7. Insulated windows and doors.
8. Efficient utilities and appliances.
9. Wall insulation.

Figure 108: Cut-through diagram of an energy efficient home and its features.



Site Specific Design Codes

04



4. Site Specific Design Codes

This section sets out the site context, opportunities and constraints, design framework and site-specific codes for the NPA's allocated site.

4.1 Site context

Policy 28 of the Bassetlaw District Core Strategy has identified the land at Ollerton Road as a suitable site to deliver up to 75 new dwellings as part of Tuxford's growth in this plan period. The 3ha site is identified as 'HS14 Ollerton Road' in the Core Strategy.

As set out in 2.2.4 in this document, the site is allocated to deliver housing, and social infrastructure such as new cycle and pedestrian paths, and a 25% provision of affordable housing among others.

Policy 28 sets out several requirements for the delivery of the site. These are also listed in 2.2.4 Housing Allocation.

4.1.1 Key characteristics of the site:

- Three defined boundaries to the north, east and south - these are defined by hedgerow. The site's western boundary bisects a field and lacks any distinction between the site and adjacent plot.
- The site's northern boundary abuts the conservation area boundary.

- A PRoW runs along the eastern boundary, connecting Ollerton Road in the north to Long Lane in the south.
- The site's current use is for agriculture. There is no existing development within the site boundary.
- The site's eastern boundary adjoins to existing residential development, comprised of bungalows and 2 storey detached houses.
- The site's south eastern corner is overlooked by 2 two-storey detached houses.
- The site is generally flat allowing for long distance views across the townscape to the east, and landscape to the west.
- The site, as existing, has a strong green character due to its proximity to the surrounding countryside and its outlying position on the periphery of Tuxford's urban area.
- The site benefits from close proximity to Tuxford Town Centre and Walker's Industrial estate.



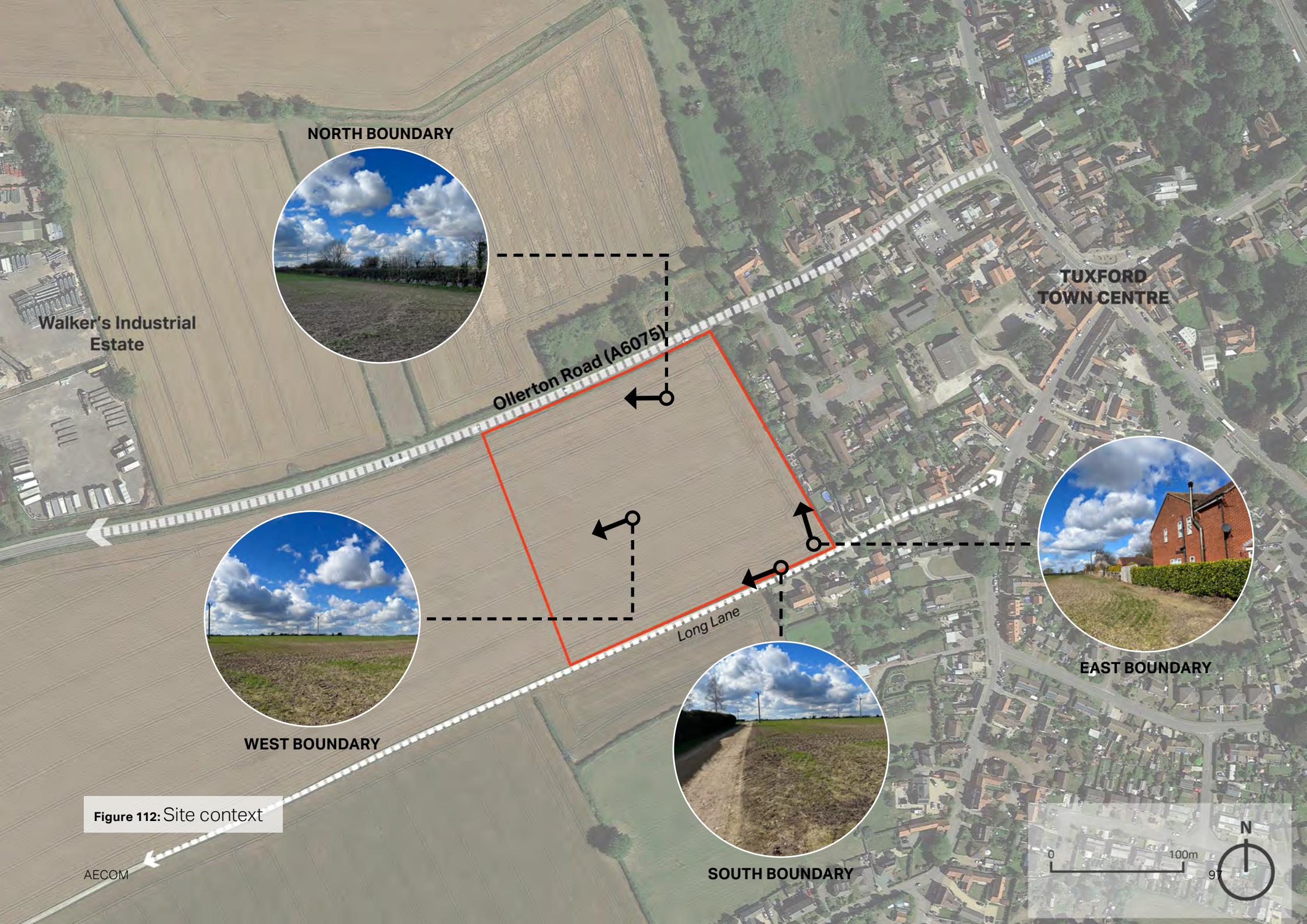
Figure 109: Current agricultural use with a flat topography allowing for long distance views.



Figure 110: PRoW going connecting Ollerton Road (foreground) to Long Lane (background).



Figure 111: Ollerton Road. The site is positioned behind the hedgerow (left).



NORTH BOUNDARY



Walker's Industrial Estate

Ollerton Road (A6075)

TUXFORD TOWN CENTRE



WEST BOUNDARY

Long Lane

EAST BOUNDARY



SOUTH BOUNDARY

Figure 112: Site context

AECOM



4.1.2 Opportunities and constraints

The site is strategically positioned in close proximity to the town centre, making it a walkable distance from retail and community amenities. It is also bordered by Ollerton Road, Tuxford's western gateway, providing the site with local and regional vehicular connectivity. Long Lane to the south of the site also provides potential vehicular access from the east.




A PRoW connects Long Lane to Ollerton Road along the site's eastern boundary. The footpath passes to the rear of existing properties at the Pastures and is not currently overlooked. Future development on the site must establish a degree of natural surveillance and overlooking along the footpath.

The site is mainly flat however the topography raises to the north, allowing for long distance views across the countryside to the north, south and west of the site, and views across the townscape to the east towards notable assets such as the church spire. New development will be required to frame these views via building and street orientation and careful consideration of scale.








The site is void of any significant landscape assets such as trees, however, the existing hedgerow along Ollerton Road provides a natural buffer to the north, as well as a foundation for further green infrastructure, between Ollerton Road and any future development. These assets must be retained and enhanced and connected to a wider green infrastructure network.

As illustrated on the adjacent plan, the site abuts the conservation area boundary and the Tuxford West character area boundary. Notwithstanding the Design Code specific to this site (provided on page 102), proposals must consider the Design Code specific to these character areas to ensure any future proposals are in compliance with matters pertaining to scale, materiality and layout (among others).





Key

-  HS14 Site boundary
-  Conservation area boundary (pink)
-  Tuxford West character area boundary (black)

Opportunities

-  Townscape views to the east
-  Landscape views to the north, south and west
-  Existing hedgerow bounding the northern site boundary
-  Pedestrian access to the northern and east corner (green)
-  Existing pedestrian and vehicular access (Long Lane) from the south east corner (blue)
-  200m from Tuxford town centre
-  PRoW (brown)

Constraints

-  Ollerton Road (a main route into Tuxford town centre)
-  Long Lane (an informal route terminating as a cul-de-sac)
-  Residential rear boundaries (red)
-  250m from Walker's industrial estate

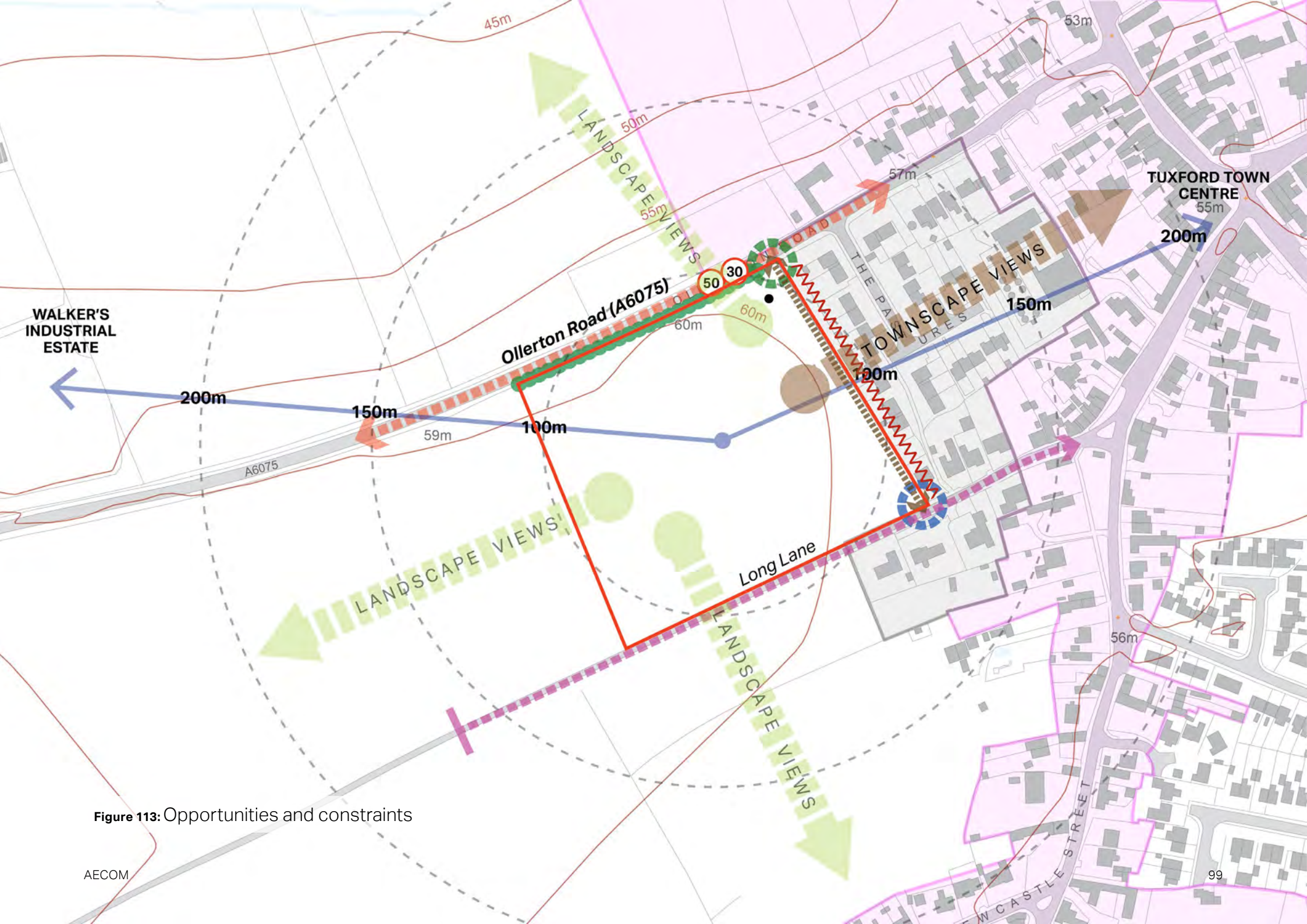


Figure 113: Opportunities and constraints

4.2 Indicative development framework plan

4.2.1 Summary

The illustrative development framework plan (Figure 114) seeks to demonstrate how development may come forward on HS14 Ollerton Road.

The development framework plan combines the criteria set out in policy 28 of the Local Plan and the opportunities and constraints exercise undertaken in section 4.1.2. It is important to note that the framework plan is high-level and is not based upon detailed technical information.

4.2.2 Key characteristics

The design's key characteristics include:

- A vehicular site access point off Ollerton Road. Planting and building orientation should create an attractive gateway entrance.
- 2 broad residential areas spread across 4 development parcels. Density should vary to include low and medium density development.
- The road network is arranged across a hierarchy of primary, secondary and tertiary streets. An area of shared

surfacing towards the centre of the site will create a focal point and will naturally slow vehicle speeds down whilst encouraging pedestrian movement.

- A header building terminating the primary access route reinforces the focal point and will improve site legibility, creating interest on the streetscene. This could be achieved through scale, detailing, materiality or housetype.
- Redirection of the PRow to reduce its course along the rear boundaries of existing properties and to allow the footpath to be overlooked by new development.
- Soft landscape buffering, including tree and hedgerow planting, along Ollerton Road and the sites western boundary will allow development to assimilate with the wider rural character.
- Similarly, increasing density of built form on the sites eastern boundary will allow the future scheme to assimilate with the adjacent urban fabric.
- An area of Public Open Space located to the south west of the site to complement the landscape buffer from the boundary. This area will be a suitable location for attenuation due to its topographical position.
- Swales along the primary road axis can contribute to sustainable drainage.
- Frontage is also provided to the site's streets and open spaces to provide a strong degree of overlooking and natural surveillance.

Parcel	Size (ha) - approx	DPH	% of total site area (approx)
Gross	3		100
Net	2.33		78
Residential 1	2	62 units @ 31 dph	86 (of net)
Residential 2	0.33	13 units @ 40 dph	14 (of net)
Green Infrastructure / POS / SuDS	0.67		22

Table 10: Indicative development schedule

Key


















-  HS14 Site boundary
-  Residential parcel 1
-  Residential parcel 2
-  Site access and gateway
-  Development frontage
-  Retained hedgerow
-  Development setback 5-10m
-  Swale (green)
-  Street trees
-  Primary road
-  Secondary road (grey)
-  Private driveway
-  New tree and hedgerow planting
-  Header / focal point
-  Shared surfacing
-  Redirected PRoW (black)
-  New Public Open Space



Figure 114: Development Framework Plan

4.2.3 Design Code E1: Site Allocation HS14

Notwithstanding the requirements set out in Policy 28 Ollerton Road (HS14), development proposals for the site must:

1. Be arranged so that properties provide a strong frontage to proposed streets, Ollerton Road and Long Lane.
2. Be predominantly 2 storeys in scale with single storey properties providing variety to the roofscape. The use of three storey properties shall be used to articulate key corners and to increase density.
3. Provide vehicular and pedestrian access directly off Ollerton Road. This entranceway must be set within a feature gateway.
4. Achieve a 10% biodiversity net gain requirement through the retention of existing landscape assets, and the planting of hedgerow, trees and the provision of wildflower planting.
5. The installation of bird and bat boxes where possible.
6. Provide a diverse green and blue infrastructure strategy to include tree and hedgerow planting, an area of Public Open Space and a SuDS strategy.
7. Built form should be outward facing, apart from on the eastern boundary, where the site backs onto rear gardens of The Pastures bungalows.
8. The surface, access, and general amenity of Long Lane should be improved, allowing it to accommodate servicing and access requirements for development along this frontage.
9. Pedestrian links should be enhanced (i.e. existing PROW along eastern boundary) and connected to surrounding links such as the existing footpath along Ollerton Road.
10. Applicants for the site's development must prepare a masterplan and delivery strategy, detailing the infrastructure to be provided by the development as well as when and how it will be delivered.
11. Retain the rural fringe character of the conservation area through planting, setting back development from the site edge and consideration of building scale.





Checklist

05



60 yds
and
120 yds

Carlisle
Health Services

5. Checklist

This section sets out a general list of design considerations by topic for use as a quick reference guide in design workshops and discussions.

1

General design guidelines for new development:

- Integrate with existing paths, streets, circulation networks and patterns of activity;
- Reinforce or enhance the established settlement character of streets, greens, and other spaces;
- Harmonise and enhance existing settlement in terms of physical form, architecture and land use;
- Relate well to local topography and landscape features, including prominent ridge lines and long-distance views;
- Reflect, respect, and reinforce local architecture and historic distinctiveness;
- Retain and incorporate important existing features into the development;
- Respect surrounding buildings in terms of scale, height, form and massing;
- Adopt contextually appropriate materials and details;
- Provide adequate open space for the development in terms of both quantity and quality;
- Incorporate necessary services and drainage infrastructure without causing unacceptable harm to retained features;
- Ensure all components e.g. buildings, landscapes, access routes, parking and open space are well related to each other;
- Positively integrate energy efficient technologies;
- Make sufficient provision for sustainable waste management (including facilities for kerbside collection, waste separation, and minimisation where appropriate) without adverse impact on the street scene, the local landscape or the amenities of neighbours;
- Ensure that places are designed with management, maintenance and the upkeep of utilities in mind; and
- Seek to implement passive environmental design principles by, firstly, considering how the site layout can optimise beneficial solar gain and reduce energy demands (e.g. insulation), before specification of energy efficient building services and finally incorporate renewable energy sources.

2

Local green spaces, views & character:

- What are the particular characteristics of this area which have been taken into account in the design; i.e. what are the landscape qualities of the area?
- Does the proposal maintain or enhance any identified views or views in general?
- How does the proposal affect the trees on or adjacent to the site?
- Can trees be used to provide natural shading from unwanted solar gain? i.e. deciduous trees can limit solar gains in summer, while maximising them in winter.
- Has the proposal been considered within its wider physical context?
- Has the impact on the landscape quality of the area been taken into account?
- Has the impact of the development on the tranquillity of the area been fully considered?
- How does the proposal impact on existing views which are important to the area and how are these views incorporated in the design?
- Can any new views be created?
- Is there adequate amenity space for the development?
- Does the new development respect and enhance existing amenity space?
- Have opportunities for enhancing existing amenity spaces been explored?
- Will any communal amenity space be created? If so, how this will be used by the new owners and how will it be managed?
- Is there opportunity to increase the local area biodiversity?
- Can green space be used for natural flood prevention e.g. permeable landscaping, swales etc.?
- Can water bodies be used to provide evaporative cooling?
- Is there space to consider a ground source heat pump array, either horizontal ground loop or borehole (if excavation is required)?

3

Street grid and layout:

- Does it favour accessibility and connectivity? If not, why?
- Do the new points of access and street layout have regard for all users of the development; in particular pedestrians, cyclists and those with disabilities?
- What are the essential characteristics of the existing street pattern; are these reflected in the proposal?
- How will the new design or extension integrate with the existing street arrangement?
- Are the new points of access appropriate in terms of patterns of movement?
- Do the points of access conform to the statutory technical requirements?

4

Buildings layout and grouping:

- What are the typical groupings of buildings?
- How have the existing groupings been reflected in the proposal?
- Are proposed groups of buildings offering variety and texture to the townscape?
- What effect would the proposal have on the streetscape?
- Does the proposal maintain the character of dwelling clusters stemming from the main road?
- Does the proposal overlook any adjacent properties or gardens? How is this mitigated?
- Subject to topography and the clustering of existing buildings, are new buildings oriented to incorporate passive solar design principles, with, for example, one of the main glazed elevations within 30° due south, whilst also minimising overheating risk?
- Can buildings with complementary energy profiles be clustered together such that a communal low carbon energy source could be used to supply multiple buildings that might require energy at different times of day or night? This is to reduce peak loads. And/or can waste heat from one building be extracted to provide cooling to that building as well as heat to another building?

5

Gateway and access features:

- What is the arrival point, how is it designed?
- Does the proposal maintain or enhance the existing gaps between settlements?
- Does the proposal affect or change the setting of a listed building or listed landscape?
- Is the landscaping to be hard or soft?

6

Building materials & surface treatment:

- What is the distinctive material in the area?
- Does the proposed material harmonise with the local materials?
- Does the proposal use high-quality materials?
- Have the details of the windows, doors, eaves and roof details been addressed in the context of the overall design?
- Does the new proposed materials respect or enhance the existing area or adversely change its character?
- Are recycled materials, or those with high recycled content proposed?
- Can the proposed materials be locally and/or responsibly sourced? E.g. FSC timber, or certified under BES 6001, ISO 14001 Environmental Management Systems?

7

Household extensions:

- Does the proposed design respect the character of the area and the immediate neighbourhood, and does it have an adverse impact on neighbouring properties in relation to privacy, overbearing or overshadowing impact?
- Is the roof form of the extension appropriate to the original dwelling (considering angle of pitch)?
- Do the proposed materials match those of the existing dwelling?
- In case of side extensions, does it retain important gaps within the street scene and avoid a 'terracing effect'?
- Are there any proposed dormer roof extensions set within the roof slope?
- Does the proposed extension respond to the existing pattern of window and door openings?
- Is the side extension set back from the front of the house?
- Does the extension offer the opportunity to retrofit energy efficiency measures to the existing building?
- Can any materials be re-used in situ to reduce waste and embodied carbon?

8

Building heights and roofline:

- What are the characteristics of the roofline?
- Have the proposals paid careful attention to height, form, massing and scale?
- If a higher than average building(s) is proposed, what would be the reason for making the development higher?
- Will the roof structure be capable of supporting a photovoltaic or solar thermal array either now, or in the future?
- Will the inclusion of roof mounted renewable technologies be an issue from a visual or planning perspective? If so, can they be screened from view, being careful not to cause over shading?

9

Building line and boundary treatment:

- What are the characteristics of the building line?
- How has the building line been respected in the proposals?
- Has the appropriateness of the boundary treatments been considered in the context of the site?

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Car parking:

- What parking solutions have been considered?
- Are the car spaces located and arranged in a way that is not dominant or detrimental to the sense of place?
- Has planting been considered to soften the presence of cars?
- Does the proposed car parking compromise the amenity of adjoining properties?
- Have the needs of wheelchair users been considered?
- Can electric vehicle charging points be provided?
- Can secure cycle storage be provided at an individual building level or through a central/ communal facility where appropriate?
- If covered car ports or cycle storage is included, can it incorporate roof mounted photovoltaic panels or a biodiverse roof in its design?

About AECOM

AECOM is the world's trusted infrastructure consulting firm, delivering professional services throughout the project lifecycle — from planning, design and engineering to program and construction management. On projects spanning transportation, buildings, water, new energy and the environment, our public- and private-sector clients trust us to solve their most complex challenges. Our teams are driven by a common purpose to deliver a better world through our unrivalled technical expertise and innovation, a culture of equity, diversity and inclusion, and a commitment to environmental, social and governance priorities. AECOM is a *Fortune 500* firm and its Professional Services business had revenue of \$13.2 billion in fiscal year 2020. See how we are delivering sustainable legacies for generations to come at [aecom.com](https://www.aecom.com) and [@AECOM](https://twitter.com/AECOM).

